

Town of Blowing Rock

Planning Board

Agenda

Thursday, March 16th, 2023

5:30 p.m.

Call to Order

Approval of Agenda

Approval of Minutes

Swearing in Members

Selection of Chair and Vice-Chair

Business

- 1. SUP # 2023 – 01 151 Valley LLC – Anne Furr**
- 2. Establishment of Comprehensive Plan Subcommittee**

Other Business

Adjournment

Planning and Zoning Board

Minutes

Thursday, February 16th, 2023

5:30 p.m.

The Blowing Rock Planning and Zoning Board met on Thursday, February 16th, 2023 for their regularly scheduled meeting. Members present were Chairman Bill McCarter, Tom Barrett, Chris Quires, Pete Page, Joe Papa and Harrison Herbst. Members joining the meeting via zoom were Catherine Perry and Sam Hess. Staff members present were Planning Director Kevin Rothrock, Zoning Officer Brian Johnson and Taylor Miller.

Chairman McCarter called the meeting to order at 5:30 p.m.

Chairman McCarter asked if there was a motion to approve the agenda. *Mr. Tom Barrett made the motion to approve the agenda, seconded by Mr. Chris Squires. All members were in favor of the motion.*

Chairman McCarter asked is there was a motion to approve the minutes from the November 17th, 2022 meeting. *Mr. Pete Page made a motion to approve the minutes. Seconded by Mr. Tom Barrett. All members were in favor of the motion.*

1. Short-Term Rental Overlay – 8530 Valley Blvd

Planning Director Kevin Rothrock presented the staff report. He explained that the applicant is applying for a Short-Term Rental Overlay in a R-6M zoning district. It would allow the applicant to rent their 3-unit residence short-term. Mr. Rothrock noted a few different aspects of the property. The driveway is accessed off of US Hwy 321. Sufficient parking seems available for up to 7 bedrooms (1 parking space per bedroom is the requirement for short-term rentals). Mr. Rothrock mentioned that if any units were to be added to the property, a Special Use Permit would be required.

Mr. Rothrock asked if there were any questions before the applicant provided testimony. There were no questions.

Mr. Dirk Derrick, the applicant, noted that he and his wife own the property. Living in Blowing Rock has always been a dream for him and his wife. He said they are not interested in hotels or selling the property. He mentioned that they plan to vet guests that they do not know but plan for family and friends to stay often. He advised they know they can do 28 day rentals but they don't know many people who take 28-day vacations. They want to legally short-term rent. They plan to have cameras to protect the property. He believes that if they have top of the line property, you're going to attract responsible and respectful people.

Mr. Harrison Herbst questioned the applicant on what service they would use to rent (VRBO, Airbnb, etc.). Mr. Derrick said they have not decided. Using a service like that is

not out of the question but they don't know yet. Mr. Herbst asked how Mr. Derrick planned to vet the guests. Mr. Derrick said they plan to do it whatever way they can whether it be through cameras or having neighbors call them if there is something wrong.

Mr. Herbst asked if Mr. Derrick knew what they would charge for a rate. Mr. Derrick said they do not know yet. He mentioned that him and his wife pay approximately \$300-\$400 per night to stay on Main Street and based off of that, they would probably be within the \$500-\$700 per night range.

Mr. Derrick explained that their dream is to have the center unit be big enough for immediate family to stay in. Then the two flanking units be smaller units for short-term renters to stay in or other family members/friends who come.

Mr. Derrick understood there were some fears about the property becoming problem as far as noise or illegal activity. According to the family that owned it before them, it has been short-term rented for a long time. He said he rented it in 2017 with his family which may have violated laws here in Blowing Rock. He mentioned that if there is record of the previous short-term renting being a problem it would be a different situation. He noted there are ordinances and laws to take care of that issue. He truly believes there will not be a problem. He said people can project worst case scenarios but he can project worst case scenarios for what goes on in the condos.

Mr. Derrick asked if there were any further questions. There were none.

Chairman McCarter noted that this is not a public hearing but they do take comments. He mentioned the two letters of opposition to the short-term rental overlay. One from Chateau Cloud and one from The Hamptons.

Laura Bingham stated she is the president of The Hamptons and lives in the cottage on the property. She advised she can see anything from her second floor bathroom that goes on at the intersection on 321. She advised that the Hamptons oppose the short-term overlay. She references the Comprehensive Plan and that the Planning Board and the Council tend to make their decisions based off of that. She also mentioned that the Hamptons had a good relationship with the previous owners of the property in question and that they did previously rent their property as short-term but mostly family and friends so they never called them out because they were glad to see it used for that occasion due to the property owner living in the mid-west.

She referenced the Comprehensive Plan again as "preserving access to nature and landscapes" and how our vistas and views that are accessible by the public are irreplaceable. She commented the stretch from Wheelies to the intersection at 321 and Main Street is one of the least obstructed views to the gorge. She mentioned the parking pad on 321 and how often people pull over there to view the gorge.

She mentioned there is a current effort to preserve the 332 acres of the Cherry Tree Hollow soon to be put into a conservancy. She said she thinks that granting the short-

term rental overlay would put the first and only short-term rental property on the gorge view.

The second topic was "compatible growth". She said there has been nothing but residential in that area. There is no short-term renting, only 28-day. If the applicant was granted short-term, it would not be compatible with the surrounding neighborhood. She advised short-term rentals are incompatible with the current residential use in that area.

The third topic is the "safe pedestrian walkways". She knows the town and DOT have invested in safe walkways. She said she feels like if we invested in these sidewalks, we have a responsibility to keep them safe. She said very few people are going the speed limit. There are baby strollers, joggers, bicyclists, pedestrians, etc. She noted there are at least 12,000-16,000 vehicles traveling on Valley Blvd per day.

Ms. Bingham then referenced the short-term rental zoning overlay on our GIS map. She noted there is no "orange" overlaying the Hamptons or the applicants property and that they would like to keep it that way.

Mr. Herbst asked if she doesn't want to see the short-term overlay in that are due to the view. Ms. Bingham advised they don't want to see it because it would be a different activity then the residential nature of the area.

She noted there would also be adverse traffic implications. The Derrick's driveway is right off of 321 and they think there could be a safety issue due to the 16,000 vehicles speeding past there.

She also mentioned there is insufficient separation between the properties. She noted there is some green space but they can still see the property.

Ms. Bingham said they want to keep it as residential only to stay in line with the Comprehensive Plan Blowing Rock has in place. They urge a recommendation not to approve the overlay.

Jim Caine, a resident at Chateau Cloud, stated Chateau Cloud homeowners elected that if any units are to be rented, it cannot be any less than 3 months. He mentioned no one rents there now. They don't rent for the reason of trying to maintain the feel of that neighborhood. He said they also do not rent due to precedents. He said when Town Council passed the Comprehensive Plan and the short-term rental zoning rules, they specifically carved out and allowed for no short-term rentals on the vista between Shadow Blvd and Green Hill Rd. In 2019, he knows 5 properties on that ridge requested to be allowed to short term rent. He mentioned that the properties were labeled unique by the staff but that Council, being concerned about precedent, decided to reject the request to allow short-term rentals for those properties. He stated Chateau Cloud is requesting that they do not approve the request to short-term rent.

Mr. Derrick asked if he could take the stand to respond.

Mr. Derrick noted that the five properties that Mr. Caine referenced were not zoned as multi-family.

Mr. Derrick also inquired about what residential families said when condos were proposed and built on the ridge. They got to vote how they wanted to control their properties but don't want him to be able to control his. He stated that he just wants to be able to control his property.

Mr. Caine then stated that 22 homeowners of the board he serves on for Chateau Cloud have unanimously opposed this request.

Planning board members agreed to close the public comment period.

Chairman McCarter referenced the minutes from 2019 and that Town Council did mention that they felt they would be setting a precedent by jumping across 321 with the overlay. He asked Mr. Rothrock about any concerns he may have with that. Mr. Rothrock acknowledged the differences in the request from 2019 for the 5 homes and the current request. The previous one was a conditional zoning request to go from R-15 single family homes to a R-6M zoning with short-term overlay. The current request is already zoned R-6M and requesting an overlay which is allowed in that zoning district.

Chairman McCarter noted again the idea of extended the overlay across 321 would set a dangerous precedent for other properties toward Green Hill Rd.

Mr. Rothrock pulled up the zoning map and he pointed out the areas that have the opportunity to apply for a short-term rental overlay. If Chateau Cloud wanted to, they could apply for the overlay. The properties across the street could as well. As you head towards Village at Green Park Inn, old ones and new ones, they could also request an overlay district. The unique thing about those properties is that they are aligned along a Us Highway. Short-term rental noise would pale in comparison in noise to the highway which was mentioned in the request in 2019. The properties that requested short-term in 2019 did not meet the criteria for approval of an overlay so they had to ask for a complete re-zoning conditionally. The property requesting this today is zoned multi-family, not single family. The Hamptons are not single family. The properties on the other side of the Derrick's properties will most likely be developed as multi-family.

Mr. Rothrock advised that every application is different and they all need to be looked at differently. Ransom Street is zoned R-6M so they meet the criteria to request a short-term overlay district. It is a neighborhood, but it is a transitional neighborhood.

Mr. Chris Squires stated that this request is a zoning request at it's heart. Zoning will transcend who it's owners are and who the applicants are. It's something that would carry forward and is a bigger issue than just "here is the plan today" so the decision making needs to be bigger. You may have great owners today but you don't know who the owners could be tomorrow.

Chairman McCarter asked Mr. Rothrock if he had any concerns about spot zoning.

Mr. Rothrock said no. He said this is not a spot zoning request because this is an overlay request where it is allowed to be requested. He mentioned you could view a conditional zoning request as spot zoning.

Chairman McCarter advised he was concerned about giving one property owner special privileges that the surrounding properties don't have.

Mr. Rothrock noted that he would see it different if it were in an R-15 zoned area.

Mr. Rothrock also questioned the board on whether or not the property is a neighborhood. He stated that Chateau Cloud and The Hamptons enjoy a neighborhood environment but the property in question is not really a "neighborhood".

Mr. Tom Barrett stated that his concern is the level of short-term rental conversation in Blowing Rock. There is concern in the neighborhoods and we've assured the citizens that the overlay districts are confined and this is not going to come to your neighborhood and that the community expects it to continue to be like that.

Mr. Rothrock advised the neighborhoods concerned are not overlay districts. This request is an overlay district.

Member Catherine Perry stated that the idea of precedent was brought up a lot. She said she is unclear about what precedent would be set. Is it setting a precedent for other STR overlays in zones that allow an overlay? Or for there to be short-term rental overlays in other zones?

Mr. Rothrock said no. The overlay can only be applied in R-6M and R-10M zoning districts that are currently there. He thinks that the term precedent is being thrown out there and makes you think your hands are tied. Every application stands on its own and you judge based on like circumstances. You treat like circumstances with like decisions. If this was somewhere else and things are different, you do not need to make the same decision. If something is very similar, you need to treat it in a very similar manner.

Chairman McCarter stated he tries to look at benefits versus detriments to the adjoining properties and whether one substantially outweighs the other.

Mr. Joe Papa said is against the idea of dropping an overlay wherever they want them. He thinks 28-day rentals would be sufficient enough for the property owner.

Mr. Tom Barrett stated there has been so much discussion over the preservation of the town. He stated even if the situation was absolutely perfect, you can not guarantee what the next property owners will be.

Mr. Harrison Herbst asked if there were any complaints for existing short-term rentals. Mr. Rothrock said no.

Ms. Catherine Perry asked if two of the three units were being rented short-term.

Mr. Rothrock advised that he did not have any knowledge of it being short-term rented.

Laura Bingham advised it's been short term rented for many years but not subjected to rules and regulations.

Catherine Perry asked if renting for less than 28 days had increased traffic onto 321. Would there be more traffic for a 7 day rental as opposed to a 28 day rental?

Mr. Rothrock asked if Chateau Cloud has any full time residents. Mr. Caine advised there were no full time residents staying in Chateau Cloud.

Mr. Derrick asked what the magic of 28 days was? He advised that not a lot of people can go on vacation for 28 days.

Mr. Rothrock stated that about 40 years ago, the code was created because you could rent 13 times a year if you rent for 28 days at a time which would help decrease the overturn of guests at a single residence.

*Mr. Chris Squires made a motion to recommend denial for the request, Mr. Tom Barrett seconded that motion. **Members Joe Papa, Pete Page, Tom Barrett, Bill McCarter, Sam Hess, Catherine Perry and Chris Squires were in favor. Harrison Herbst was opposed.***

2. Special Use Permit #23-02 - Town of Blowing Rock Day Care

Mr. Kevin Rothrock present the staff report for the Blowing Rock Day Care Center. This daycare would be located in the old community club building is at 108 Lakeside Dr. The property is currently being used for occasional community events. Based off available space, a small deck may be added to the property. The purpose would be to provide daycare services for children of town employees from birth to school age. They do not anticipate more than 10 children at one time but could possibly be up to 20 children. There is no parking directly on the property but there is parking across the street and at the pool.

Town Manager Shane Fox acknowledged this idea is fairly unique and it is based on need in our area for childcare. In talking to many employees and asking what is needed, childcare was one of the main topics brought up. He also mentioned he is a member of the children's council where he also hears about the need for childcare. He stated that on any given day, if you come into our offices, you'll most likely see a child at some point.

Mr. Fox talked about different statistics related to employment. He stated that 48% of employees left the workforce due to childcare issues in 2021. 23% of employees said they had been fired due to childcare problems. 26% said they had quit a job over childcare. 37% said they had their pay or hours reduced due to childcare problems. 41% said they turned down a job offer due to childcare concerns. Mr. Fox acknowledged there are 2 main reasons for lack of childcare - space and cost.

Mr. Fox stated that in Watauga County, there are 2,000 children under the age of 5 years old. There are only 659 total spots - all Child Development Centers. There are over 300 children on waiting lists as long as 2 years.

Mr. Fox continued by saying that childcare is one of the biggest expenses that families face. Infant care in the state of North Carolina costs \$2,125 more per year than in-state

tuition for a four-year public college. In North Carolina, infant care costs just 8.6% less than average rent. The average infant care cost in North Carolina is \$9,480 - that \$790 a month. Watauga is over \$800 which is \$9,600 a year. Appalachian State tuition and fees are \$8,152. It is cheaper to send your teenager than college than it is to have your infant in childcare.

Mr. Fox advised that he wanted to try and help employees with childcare. He said we can't do anything about cost of living or the high housing market in this area, but we can try to help through childcare. The Ruritan building was the location chosen for this daycare. He stated they know they need a Department Director which would be from our Park and Recreation Department. Our summer camp and after school programs are examples of success in childcare for the town. It makes sense to house the daycare in the same department as Park and Rec.

Mr. Fox advised there are some changes that need to be made to the Community building in order to meet code. Lattice needs to be added under the back porch. A privacy fence needs to be put up around play areas and the HVAC unit. Direct access will need to be added from inside the building to the play areas outside. A hand washing sink will need to be added to the room near the proposed changing station. There's needs to be a designated area for drop off and pick up. Mr. Fox advised the upfront estimate for the modifications to this building is approximately \$40,000.

Mr. Fox advised that the town is not trying to get into the "childcare" business. This would only be for town employees and their children. There would be a charge at a reduced rate. They want to cut the \$800 per month average childcare cost to \$400. Therefore, employees would pay \$400 per month for childcare.

Mr. Herbst stated that he wanted to applaud Mr. Fox for trying to implement such a progressive benefit in a town that many people just consider a second home community.

Mr. Joe Papa asked where we would vote considering that building has been used at a voter location. Mr. Fox advised that is something to be considered. They plan to book the legion building for a future voting location.

*Mr. Joe Papa made a motion to approve the Special Use Permit for the Town of Blowing Rock Daycare. Seconded by Mr. Tom Barrett. **All members in favor.***

Mr. Rothrock thanked Mr. Pete Page for his service on the Planning Board. This will be his last meeting.

Mr. Rothrock also mentioned that he sent a public notice out with the monthly water bill asking citizens to let us know what they may not like about downtown. It's easy to tell what we like, but we want to know what the public doesn't like.

*Mr. Harrison Herbst made a motion to adjourn the meeting. Seconded by Mr. Tom Barrett. **All in favor.***

Meeting adjourned at 6:57pm.

Chairman Bill McCarter

Taylor Miller
Planning & Zoning Support Specialist

Blowing Rock Planning Board

STAFF REPORT

Project: SUP 2023-01 – 151 Valley LLC – Anne Furr
Meeting Date: March 16, 2023
Applicant: 151 Valley, LLC
Staff: Brian Johnson, Zoning Enforcement Officer

REQUEST

Anne Furr of 151 Valley, LLC is requesting a Special Use Permit to renovate the existing building and property at 8263 Valley Blvd. The applicant is seeking approval for Retail, Office, and related similar uses within the Land Use Ordinance. The existing structure facade will be renovated and repaired with minor changes. A new parking lot will be built adjacent to the existing building to the North with a new curb cut onto Highway 321. The property contains 0.756 acres and is zoned GB, General Business, and is located in the WS-IV water supply watershed. The property is further identified by Watauga County PIN 2817-15-2736-000.

SITE PLAN

The proposed site is a redevelopment of a former Retail store. The property was purchased by NCDOT through the 321-widening project. After the road project was completed, the property was purchased by Anne Furr.

The applicant is providing 24 total parking spaces with one being ADA accessible. 24 parking spaces will provide 1 space per 152 square feet of gross floor area. Access to the parking lot will utilize a new right-in and right-out driveway cut on Valley Blvd.

STORMWATER MANAGEMENT

The development of the site will result in additional impervious surfaces with the addition of the parking area. Two underground stormwater detention systems have been designed for the additional impervious surface area. Additional drainage pipes and swales will be installed to pick up the water that collects in the rear and side of the building. These pipes will connect to the on-site system and then be connected to the NCDOT catch basin and existing stormwater system along Hwy 321.

USES

The applicant is seeking approval for the following uses based on the site-specific plan.

Retail

- 2.100 Commercial activities to be located within a building**
 - 2.111** Miscellaneous
 - 2.112** ABC Stores
 - 2.113** Convenience Stores
 - 2.120** Low-volume traffic generation
 - 2.130** Wholesale

Office

- 3.100 All operations conducted entirely within fully enclosed building**
 - 3.110** Attorneys, Physicians, other professions. Insurance and Stock Brokers, Travel Agents, government office bldgs. etc
 - 3.120** Operations designed to attract little or no customer or client traffic other than employees of the entity operating the principle use
 - 3.130** Office or clinics of physicians or dentists with not more than 10,000 sf of gross floor area
- 3.200 Operations conducted within or outside fully enclosed building**
 - 3.210** Operations designed to attract or serve customers, clients on premises
 - 3.220** Operations designed to attract little or no customer or client traffic other than the employees of the entity operating the principle use

Manufacturing, Processing, Creating, etc

- 4.100 All operations conducted entirely within full enclosed building**
 - 4.110** Majority of dollar volume of business done with walk-in trade
 - 4.120** Majority of dollar volume of business not done with walk-in trade

Education, Cultural, and Religion

- 5.200** Churches, Synagogues, and Temples

Libraries, Museums, Art Galleries, etc.

- 5.320** Located within any permissible structure

Social, Fraternal Clubs, Lodges, Union Halls

- 5.420** Not featuring live entertainment or dancing at least four days per month

Storage and Parking

- 10.100** Automobile parking garages or parking lots not located on a lot on which there is another principle use to which the parking is related
- 10.210** All storage within completely enclosed structure
- 10.300** Parking of vehicles or storage of equipment outside enclosed structures where: (i) vehicles or equipment are owned and used by the person making use of the lot: (ii) parking or storage is more than a minor and incidental part of the overall use made of the lot

Other

- 12.100** Veterinarian
- 16.000** Dry Cleaner, Laundromat
- 22.000** Nursery Schools; Day Care Centers

LANDSCAPING

New street yard and parking lot landscaping will be provided along Hwy 321 with a mixture of large and small deciduous trees, evergreen shrubs, and deciduous shrubs. Side and rear landscape buffers will utilize the existing steep topography and vegetation to satisfy buffering requirements and supplemental plant material will be added where necessary.

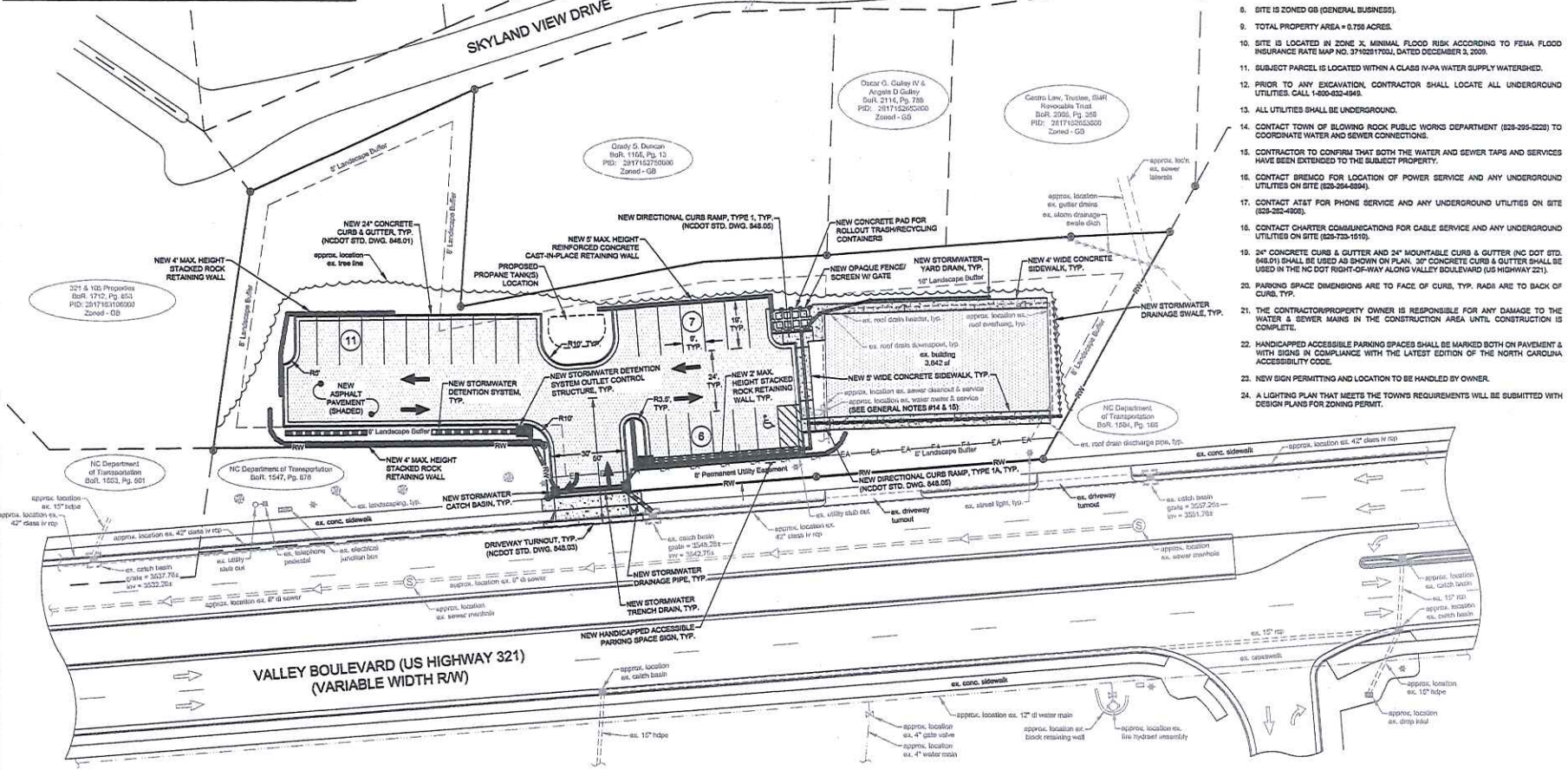
ARCHITECTURAL

The existing structure facade will be renovated and repaired with minor changes. The existing bark on the building will remain and the trim colors will be white.

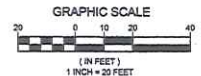
ATTACHMENTS

1. Site plan
2. Architectural schematic plan
3. Aerial Photo
4. Zoning
5. Site Photos (2)

WS-IV-PA WATERSHED CALCULATIONS	
TOTAL AREA (SQUARE FEET OF PROPERTY)	32,662
MINUS IMPERVIOUS AREA IN SQUARE FEET EXISTING PRIOR TO SEPTEMBER 15, 1993 (DATE OF ORDINANCE)	12,217
EQUALS NET AREA OF SUBJECT PROPERTY	20,735
TIMES PERCENT OF IMPERVIOUS AREA ALLOWED (SEE PERMITTED ALLOWANCE LISTED BELOW)	X 0.24
MAX. TEAM V RESIDENTIAL - 24% IMPERVIOUS AREA (UP TO 5% WITH VARIANCE) NON-RESIDENTIAL DEVELOPMENT - 24% IMPERVIOUS AREA IN LOCATIONS THAT HAVE CURB AND GUTTER (UP TO 70% IF APPROVED AS SPECIAL INTENSITY ALLOCATION) NON-RESIDENTIAL DEVELOPMENT - 10% IMPERVIOUS AREA IN LOCATIONS WITHOUT CURB AND GUTTER (UP TO 30% IF APPROVED AS SPECIAL INTENSITY ALLOCATION)	
MINUS IMPERVIOUS AREA (IN SQUARE FEET) ADDED AFTER SEPTEMBER 15, 1993	0
EQUALS NET IMPERVIOUS ALLOWANCE	4,978
PROPOSED IMPERVIOUS AREA TO BE ADDED AS PART OF THE PROPOSED DEVELOPMENT (MUST BE LESS THAN THE NET IMPERVIOUS ALLOWANCE)	3,204



- GENERAL NOTES:**
- BOUNDARY SURVEY PREPARED BY DAVID K. STERN, P.L.A., L-1301, RECORDED FEBRUARY 18, 2020.
 - TOPOGRAPHIC INFORMATION ACQUIRED BY DAVID K. STERN, L-1301 PUBLISHED JUNE 18, 2020.
 - BEARINGS ARE RELATIVE TO GRID NAD 1983 (2011).
 - ELEVATIONS ARE BASED UPON NAVD 83.
 - ALL DISTANCES ARE HORIZONTAL MEASUREMENTS AND AREAS HAVE BEEN CALCULATED USING THE COORDINATE GEOMETRY METHOD.
 - RIGHT OF WAY ALONG US HWY 321 HAS A VARIABLE WIDTH RELATIVE TO PROPERTY LINE.
 - CONTOUR INTERVAL = 2 FOOT.
 - SITE IS ZONED GB (GENERAL BUSINESS).
 - TOTAL PROPERTY AREA = 0.756 ACRES.
 - SITE IS LOCATED IN ZONE X; MINIMAL FLOOD RISK ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 370821010L, DATED DECEMBER 3, 2009.
 - SUBJECT PARCEL IS LOCATED WITHIN A CLASS IV-PA WATER SUPPLY WATERSHED.
 - PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES. CALL 4300-930-9493.
 - ALL UTILITIES SHALL BE UNDERGROUND.
 - CONTACT TOWN OF BLOWING ROCK PUBLIC WORKS DEPARTMENT (828-295-5228) TO COORDINATE WATER AND SEWER CONNECTIONS.
 - CONTRACTOR TO CONFIRM THAT BOTH THE WATER AND SEWER TAPS AND SERVICES HAVE BEEN EXTENDED TO THE SUBJECT PROPERTY.
 - CONTACT BREMCO FOR LOCATION OF POWER SERVICE AND ANY UNDERGROUND UTILITIES ON SITE (828-294-6894).
 - CONTACT AT&T FOR PHONE SERVICE AND ANY UNDERGROUND UTILITIES ON SITE (828-282-4808).
 - CONTACT CHARTER COMMUNICATIONS FOR CABLE SERVICE AND ANY UNDERGROUND UTILITIES ON SITE (828-753-1515).
 - 24" CONCRETE CURBS & GUTTER AND 24" MOUNTABLE CURBS & GUTTER (NC DOT STD. 648.01) SHALL BE USED AS SHOWN ON PLAN. 30" CONCRETE CURBS & GUTTER SHALL BE USED IN THE NC DOT RIGHT-OF-WAY ALONG VALLEY BOULEVARD (US HIGHWAY 221).
 - PARKING SPACE DIMENSIONS ARE TO FACE OF CURB, TYP. RADII ARE TO BACK OF CURB, TYP.
 - THE CONTRACTOR/PROPERTY OWNER IS RESPONSIBLE FOR ANY DAMAGE TO THE WATER & SEWER MAINS IN THE CONSTRUCTION AREA UNTIL CONSTRUCTION IS COMPLETE.
 - HANDICAPPED ACCESSIBLE PARKING SPACES SHALL BE MARKED BOTH ON PAVEMENT & WITH SIGNS IN COMPLIANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA ACCESSIBILITY CODE.
 - NEW SIGN PERMITTING AND LOCATION TO BE HANDLED BY OWNER.
 - A LIGHTING PLAN THAT MEETS THE TOWNS REQUIREMENTS WILL BE SUBMITTED WITH DESIGN PLANS FOR ZONING PERMIT.



PRELIMINARY
FOR REGULATORY REVIEW ONLY

MUNICIPAL ENGINEERING, INC.
 68 BIRNBAUM DRIVE, GARNER, NC 27529 • PHONE: 919-772-5393
 8208 STATE FARM ROAD, IDOCHE, NC 28047 • PHONE: 828-562-1767
 LICENSE NUMBER: F0812

COMMERCIAL REDEVELOPMENT SPECIAL USE PERMIT
 8263 VALLEY BOULEVARD
 BLOWING ROCK, NORTH CAROLINA

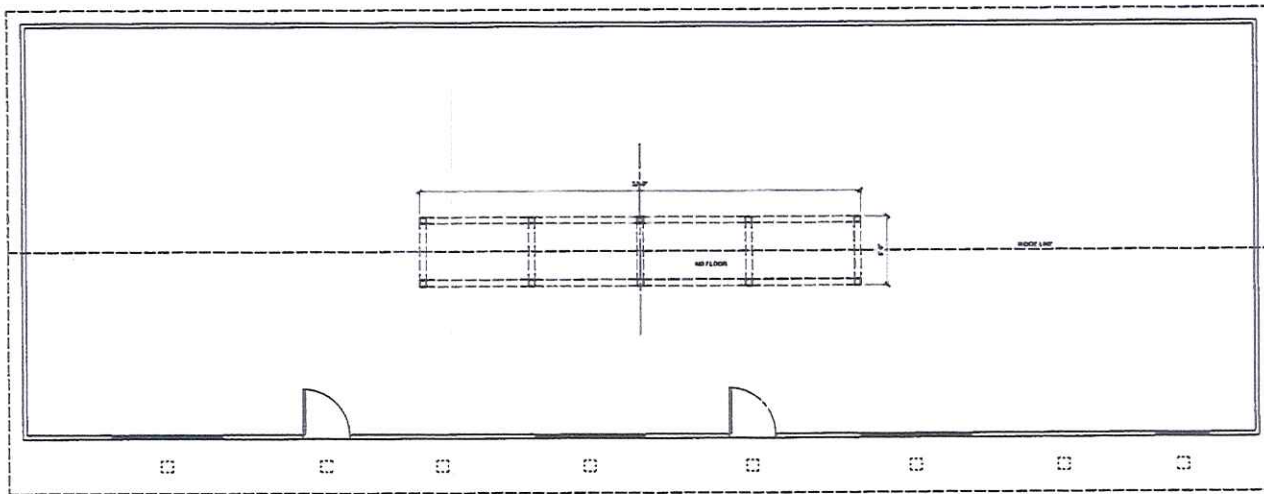
SITE PLAN

SCALE:	AS SHOWN
DATE:	1-18-22
DRAWN BY:	SSJ/ST
CHECKED BY:	JAC
PROJECT NUMBER:	B21031
DRAWING NO.:	SHEET NO.
C-3	3 OF 12

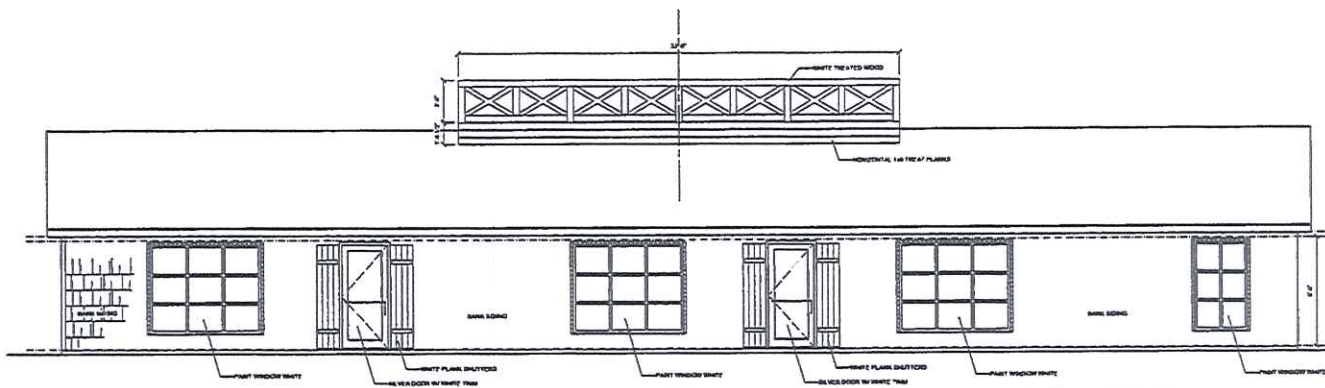


2015 © Meyer | Gresson | Paulin | Benson, Inc.
 11000 10th Street, Suite 200, Blowing Rock, NC 28605
 703.752.1000 | www.mgpdesign.com

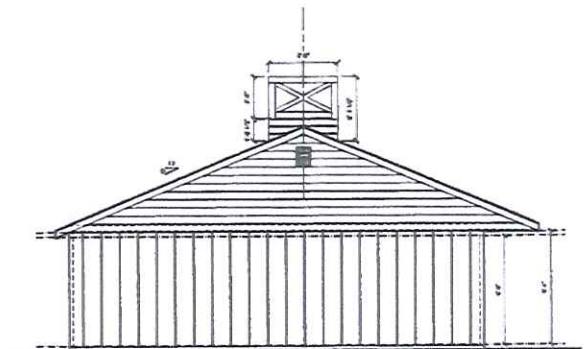
**Anne Furr
 Store Front**
 Blowing Rock, North Carolina



1 MAIN FLOOR PLAN
 A-1.0 1/4" = 1'-0"



2 FRONT ELEVATION - 'A'
 A-1.0 1/4" = 1'-0"



3 SIDE ELEVATION
 A-1.0 1/4" = 1'-0"

NOT FOR CONSTRUCTION

Store Front Plan & Elevation	Revisions
14 July 2018	
SGC	
20177	
A-1.0	



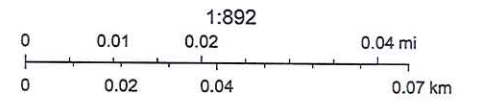
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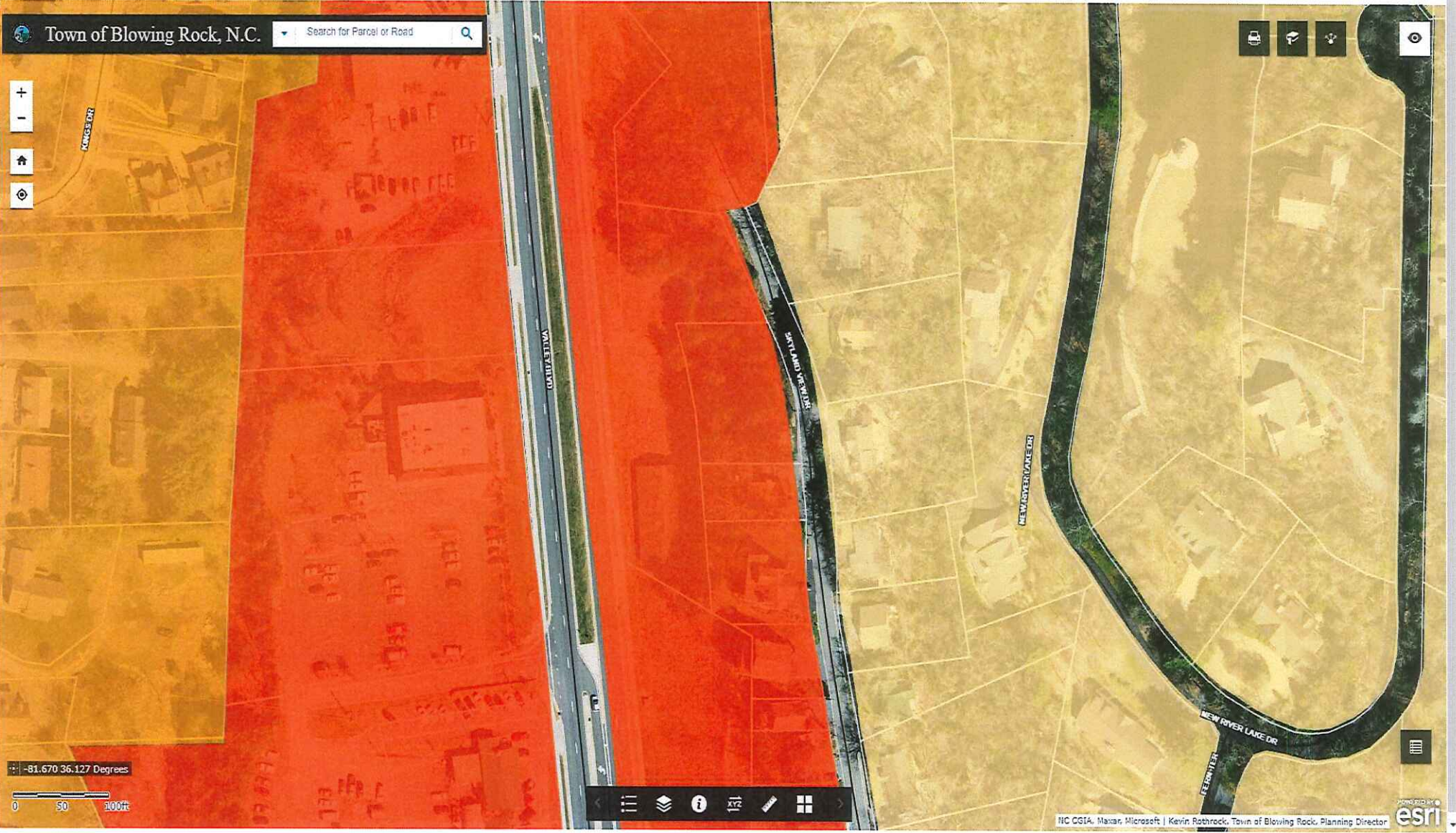
Elevations are illustrative and variations to design elements may occur. Windows walk shown will not be constructed as part of this project.

Watauga County Auditor



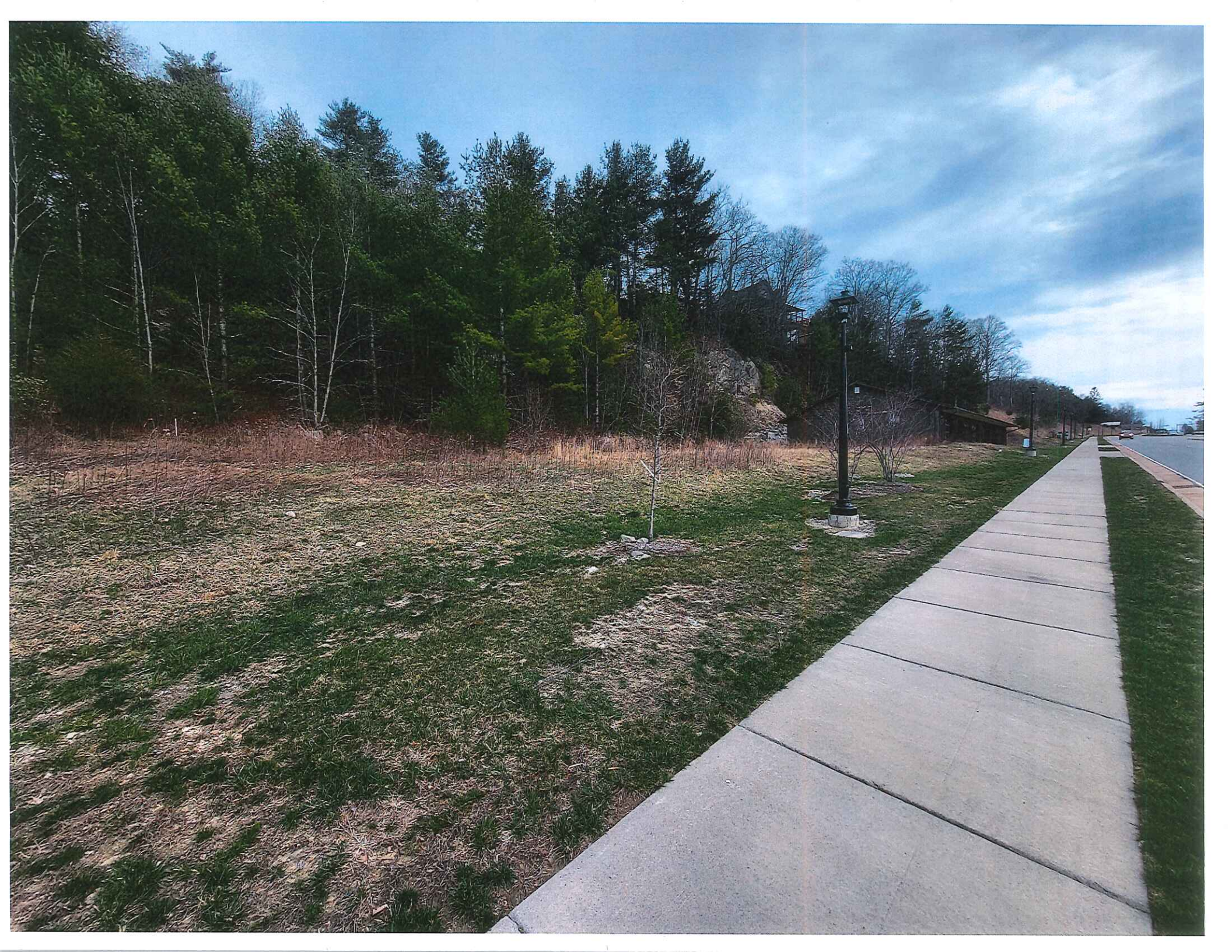
March 9, 2023

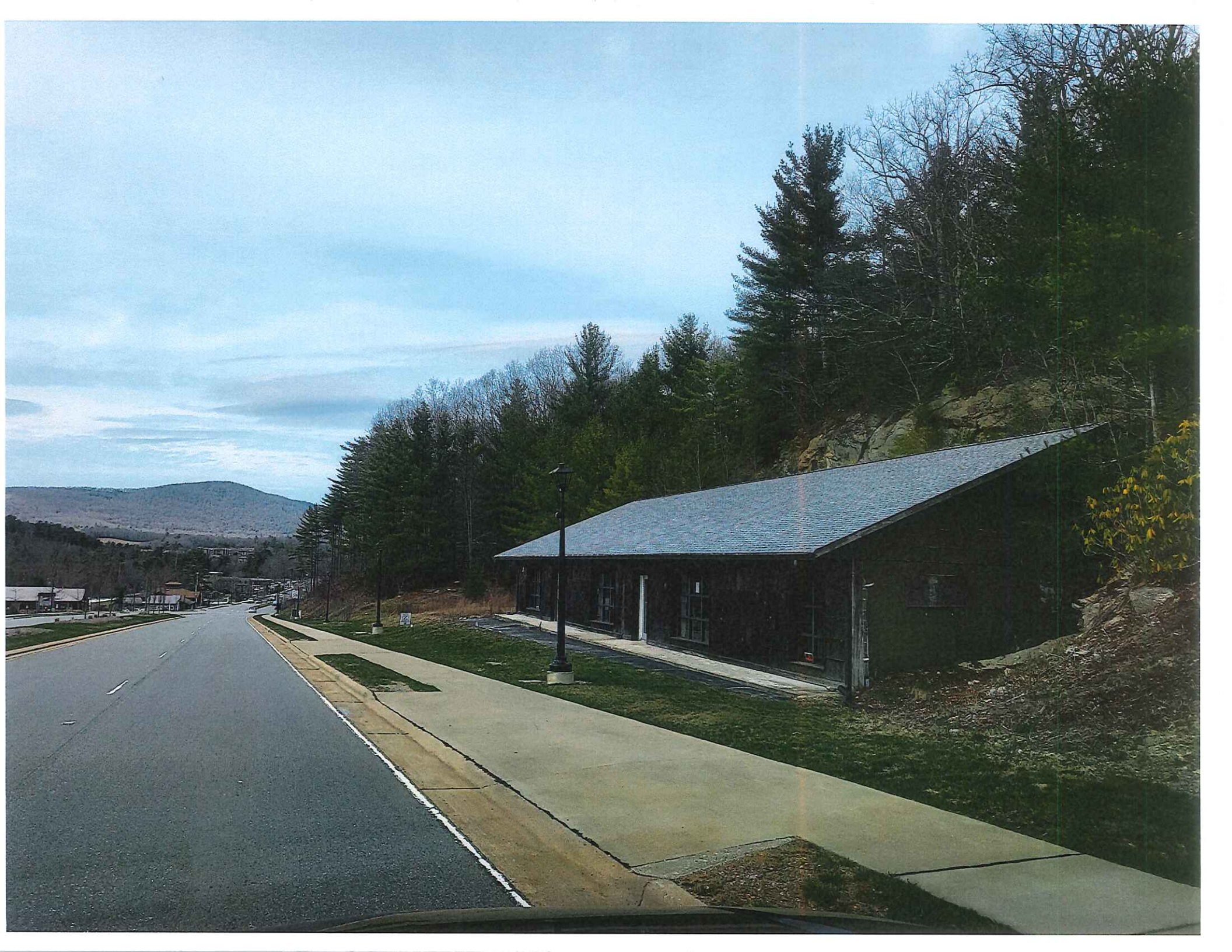


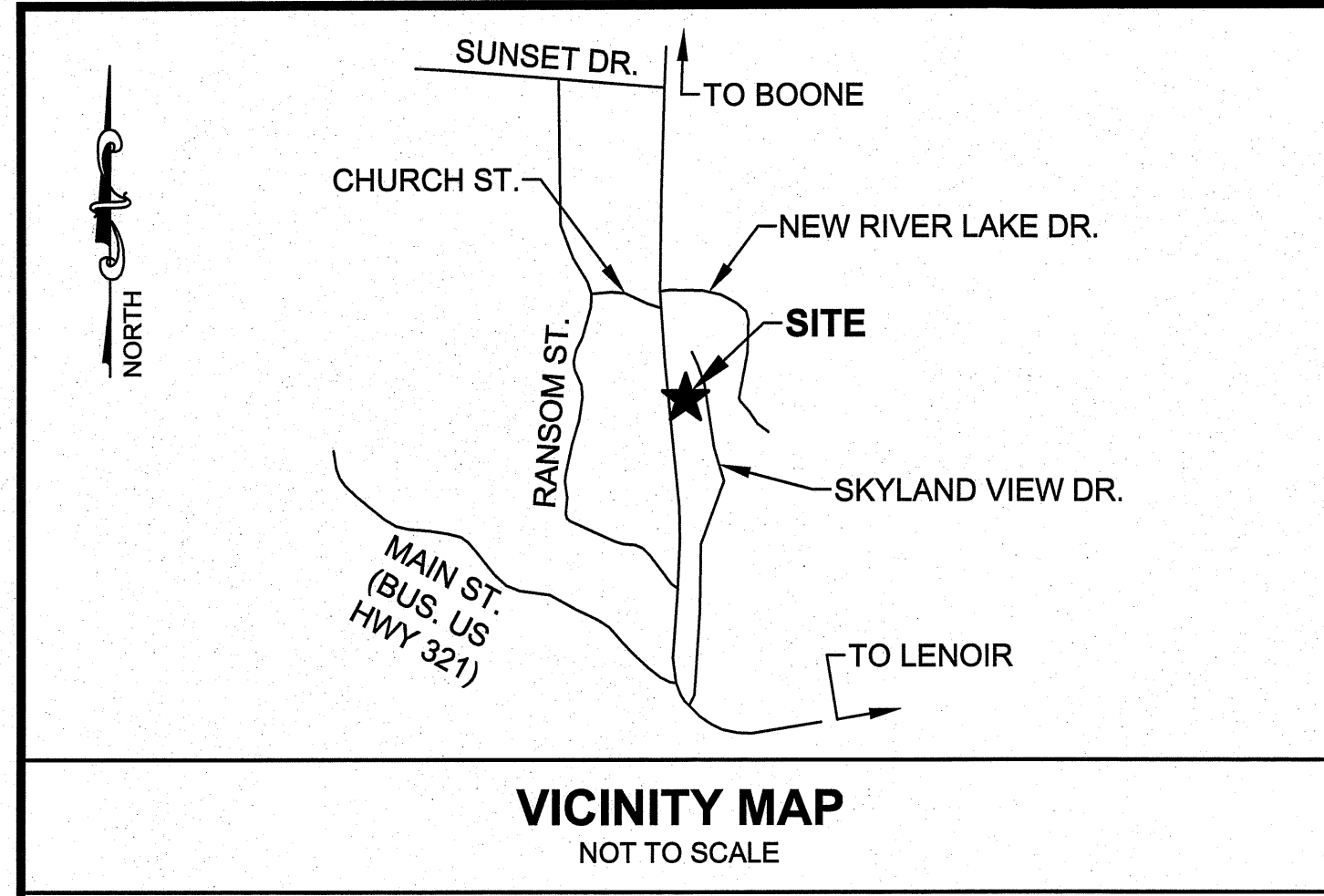


-81.670 36.127 Degrees

0 50 100ft







INDEX OF DRAWINGS		
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VICINITY MAP
NOT TO SCALE

OWNER/APPLICANT:
151 VALLEY, LLC
PO BOX 550982
GASTONIA, NC 28055
(704) 618-9181

CIVIL ENGINEER:
MUNICIPAL ENGINEERING, INC.
820-B STATE FARM RD
BOONE, NC 28607
(828) 262-1767

SURVEYOR:
DAVID K. STERN
475 CHURCH HOLLOW ROAD
BOONE, NC 28607
(828) 963-5331

COMMERCIAL REDEVELOPMENT SPECIAL USE PERMIT 151 VALLEY, LLC 8263 VALLEY BOULEVARD BLOWING ROCK, NORTH CAROLINA PROJECT NO. B21031

Municipal Engineering, Inc.
Boone, NC Garner, NC

PRELIMINARY
FOR REGULATORY REVIEW ONLY

By: _____
Professional Engineer

PROPOSED USES	
USE	TYPE OF USE
SITE ZONED GB (GENERAL BUSINESS), PIN # 2817-15-2736-000	
2.000	SALES AND RENTAL OF GOODS, MERCHANDISE AND EQUIPMENT (RETAIL)
2.111	MISCELLANEOUS
2.112	ABC STORES
2.113	CONVENIENCE STORES
2.120	LOW-VOLUME TRAFFIC GENERATION
2.130	WHOLESALE SALES
3.000	OFFICE, CLERICAL, RESEARCH AND SERVICES NOT PRIMARILY RELATED TO GOODS OR MERCHANDISE
3.110	OFFICES OF ATTORNEYS, PHYSICIANS, OTHER PROFESSIONALS, INSURANCE, STOCK BROKERS, TRAVEL AGENTS, GOVERNMENT OFFICE BUILDINGS, ETC.
3.120	OPERATION DESIGNED TO ATTRACT LITTLE OR NO CUSTOMER TRAFFIC
3.130	OFFICES OR CLINICS OF PHYSICIANS OR DENTISTS WITH NOT MORE THAN 10,000 SF OF GFA
3.210	OPERATIONS DESIGNED TO ATTRACT OR SERVE CUSTOMERS OR CLIENTS ON PREMISES
3.220	OPERATIONS DESIGNED TO ATTRACT LITTLE TO NO CUSTOMER TRAFFIC
4.000	MANUFACTURING, PROCESSING, CREATING, REPAIRING, RENOVATING, PAINTING, CLEANING, ASSEMBLING OF GOODS, MERCHANDISE AND EQUIPMENT
4.110	MAJORITY OF DOLLAR VOLUME OF BUSINESS DONE WITH WALK-IN TRADE
4.120	MAJORITY OF DOLLAR VOLUME OF BUSINESS NOT DONE WITH WALK-IN TRADE
5.000	EDUCATION, CULTURAL, AND RELIGIOUS
5.200	CHURCHES, SYNAGOGUES AND TEMPLES
5.320	LIBRARIES, MUSEUMS, ART GALLERIES, ART CENTERS AND SIMILAR USES (INCLUDING ASSOCIATED EDUCATIONAL AND INSTITUTIONAL ACTIVITIES) LOCATED WITHIN ANY PERMISSIBLE STRUCTURE
5.420	SOCIAL FRATERNAL CLUBS AND LODGES, UNION HALLS AND SIMILAR USES NOT FEATURING LIVE ENTERTAINMENT OR DANCING AT LEAST 4 DAYS PER MONTH
10.000	STORAGE AND PARKING
10.100	AUTOMOBILE PARKING GARAGES OR PARKING LOTS NOT LOCATED ON A LOT ON WHICH THERE IS ANOTHER PRINCIPAL USE TO WHICH THE PARKING IS RELATED
10.210	ALL STORAGE WITHIN COMPLETELY ENCLOSED STRUCTURES
10.300	PARKING OF VEHICLES OR STORAGE OF EQUIPMENT OUTSIDE ENCLOSED STRUCTURES WHERE: (I) VEHICLES OR EQUIPMENT OWNED AND USED BY THE PERSON MAKING USE OF THE LOT; AND (II) PARKING OR STORAGE IS MORE THAN A MINOR OR INCIDENTAL PART OF THE OVERALL USE MADE OF THE LOT
12.100	OTHER
16.000	VETERINARIAN
22.000	DRY CLEANERS, LAUNDROMAT NURSURY SCHOOLS, DAY CARE CENTERS

ZONING INFORMATION

SITE ZONED GB (GENERAL BUSINESS), PIN # = 2817-15-2736-000

TOTAL PROPERTY AREA	=	32,952 FT ² (0.756 ACRES)
PROPOSED USE	=	SEE TABLE THIS SHEET
EXISTING BUILDING HEIGHT	=	18'-0"±
DRAINAGE BASIN	=	NEW RIVER
WATERSHED	=	WS-IV-PA

PARKING REQUIREMENTS

AUTOMOBILE PARKING SPACES PROVIDED:

STANDARD PARKING SPACES PROVIDED	=	23 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	=	1 SPACE
TOTAL PARKING SPACES PROVIDED	=	24 SPACES
EXISTING BUILDING GROSS FLOOR AREA	=	3,642 FT ²
SQUARE FOOTAGE OF GROSS FLOOR AREA PER PARKING SPACE PROVIDED	=	152 FT ²

IMPERVIOUS SURFACE AREA

EXISTING IMPERVIOUS SURFACE AREA	=	12,217 FT ²
PROPOSED IMPERVIOUS SURFACE AREA	=	15,421 FT ²

NOTE: TWO STORMWATER DETENTION SYSTEMS HAVE BEEN DESIGNED FOR THE ADDITIONAL IMPERVIOUS SURFACE AREA.

LEGEND

	EX. POWER POLE		PROPOSED POWER POLE
	EX. SS MANHOLE		PROPOSED SS MANHOLE
	EX. SS CLEANOUT		PROPOSED SS CLEANOUT
	EX. GATE VALVE		PROPOSED GATE VALVE
	EX. FIRE HYDRANT		PROPOSED FIRE HYDRANT
	EX. LIGHT POLE		PROPOSED WATER METER
	EX. CATCH BASIN		PROPOSED LIGHT POLE
	EX. DROP INLET		PROPOSED STORMWATER DETENTION OUTLET CONTROL STRUCTURE
	EX. WATER METER		PROPOSED STORMWATER DRAINAGE STRUCTURE
	EX. GUY WIRE		PROPOSED STORMWATER TRENCH DRAIN
	EX. TEST PIT		
	EX. DRAINAGE MANHOLE		
	EX. GAS MARKER		
	EX. WELL		
	EX. TREE		
	EX. BUSH		
	EX. SIGN		
	EX. TELEPHONE PEDESTAL		
	EX. FIBER OPTIC MARKER		

LINETYPES

	PROPOSED WATERMAIN
	PROPOSED CONTOURS
	EXISTING CONTOURS
	STREAM OR CREEK
	DITCH OR SWALE
	STREAM OR CREEK TOP OF BANK
	STREAM BUFFER
	TROUT BUFFER
	EXISTING WETLANDS
	PROPOSED DRAINAGE PIPE
	EXISTING STORM DRAINAGE
	PROPOSED SANITARY SEWER MAIN
	CENTERLINE
	FENCES
	EXISTING WATERLINE
	RIGHT-OF-WAY LINE
	EASEMENTS
	EXISTING WATERSHED
	EXISTING FLOOD ZONE AE LIMIT
	PERMANENT DIVERSION
	TEMPORARY BERM DITCH
	SILT FENCE
	EXISTING WOODS LINE
	EXISTING OVERHEAD POWERLINE
	UNDERGROUND GAS LINE
	UNDERGROUND FIBER OPTIC LINE
	UNDERGROUND POWERLINE
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND CABLE LINE

MUNICIPAL ENGINEERING, INC.

68 SHIPWASH DRIVE, GARNER, NC 27529 • PHONE: 919-772-5393
820-B STATE FARM ROAD, BOONE, NC 28607 • PHONE: 828-262-1767
LICENSE NUMBER: F-0812

**COMMERCIAL REDEVELOPMENT
SPECIAL USE PERMIT**

**8263 VALLEY BOULEVARD
BLOWING ROCK, NORTH CAROLINA**

COVER SHEET

3-9-23	AJC	DATE	PROPOSED USES REVISION
			DESCRIPTION
			REV.

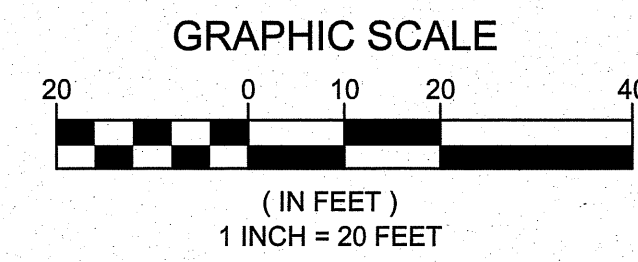
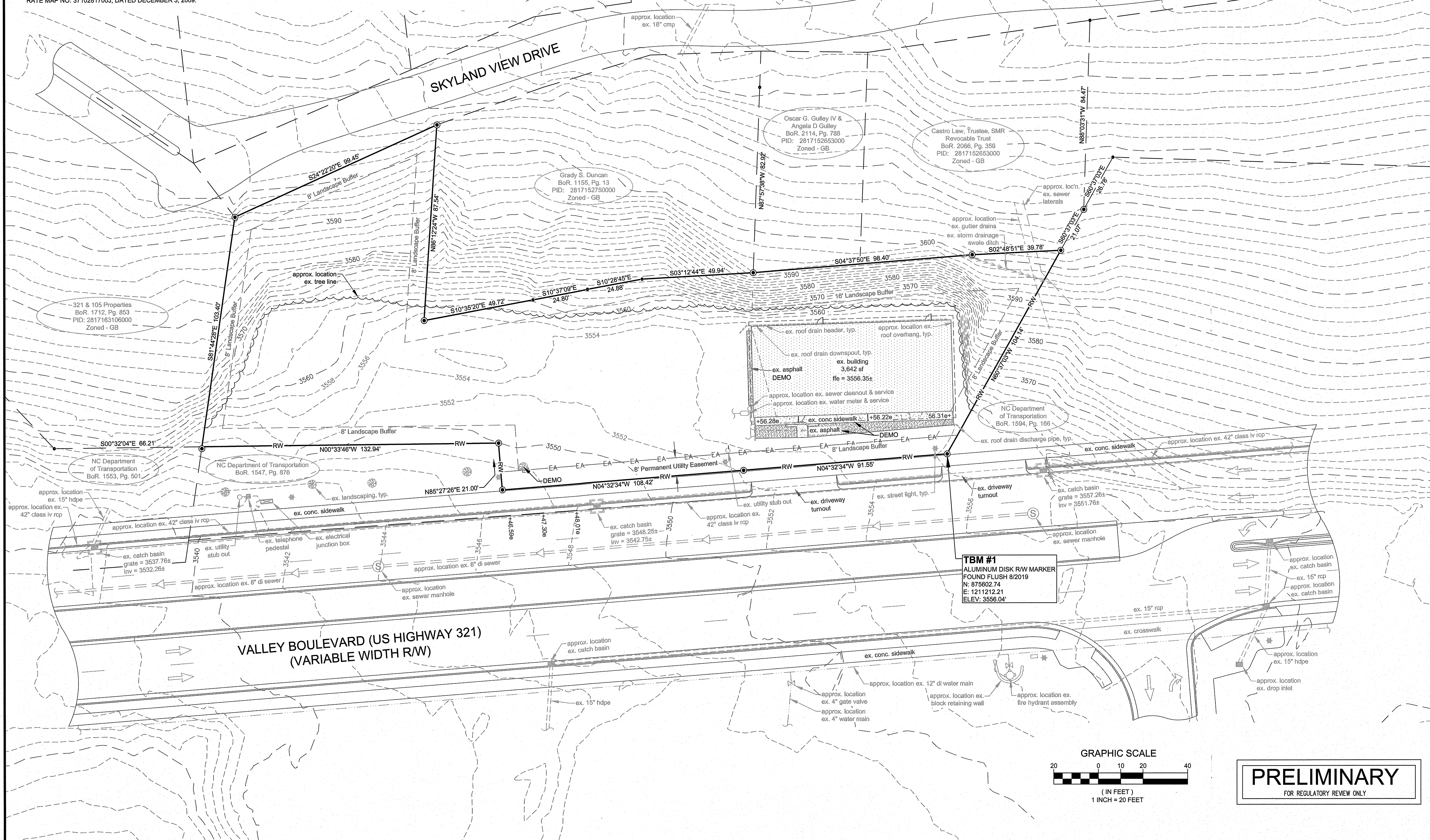
SCALE: AS SHOWN
DATE: 1-19-22
DRWN. BY: SGJ/EGT
CHKD. BY: AJC
PROJECT NUMBER: B21031
DRAWING NO.: C-1 SHEET NO.: 1 OF 12

SURVEY NOTES:

- BOUNDARY SURVEY PREPARED BY DAVID K. STERN PLS, L-1301, RECORDED FEBRUARY 18, 2020.
- TOPOGRAPHIC INFORMATION ACQUIRED BY DAVID K. STERN, L-1301 PUBLISHED JUNE 18, 2020
- BEARINGS ARE RELATIVE TO GRID NAD1983(2011).
- ELEVATIONS ARE BASED UPON NAVD 88'.
- ALL DISTANCES ARE HORIZONTAL MEASUREMENTS AND AREAS HAVE BEEN CALCULATED USING THE COORDINATE GEOMETRY METHOD.
- RIGHT OF WAY ALONG US HWY 321 HAS A VARIABLE WIDTH RELATIVE TO PROPERTY LINE
- CONTOUR INTERVAL = 2 FOOT.
- SITE IS ZONED GB (GENERAL BUSINESS).
- TOTAL PROPERTY AREA = 0.756 ACRES.
- SITE IS LOCATED IN ZONE X, MINIMAL FLOOD RISK ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 3710281700J, DATED DECEMBER 3, 2009.

GENERAL NOTES:

- SEE ATTACHED EXISTING IMPERVIOUS AREAS MAP FOR EXISTING SITE IMPERVIOUS AREA USED IN STORMWATER DETENTION CALCULATIONS.



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LICENSE NUMBER: F-0812

**COMMERCIAL REDEVELOPMENT
SPECIAL USE PERMIT**
8263 VALLEY BOULEVARD
BLOWING ROCK, NORTH CAROLINA

EXISTING CONDITIONS & DEMOLITION PLAN

DATE	BY	REV.	DESCRIPTION

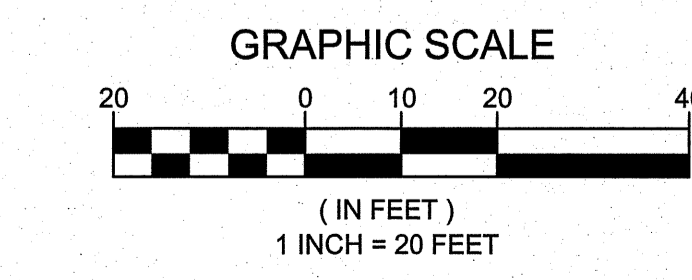
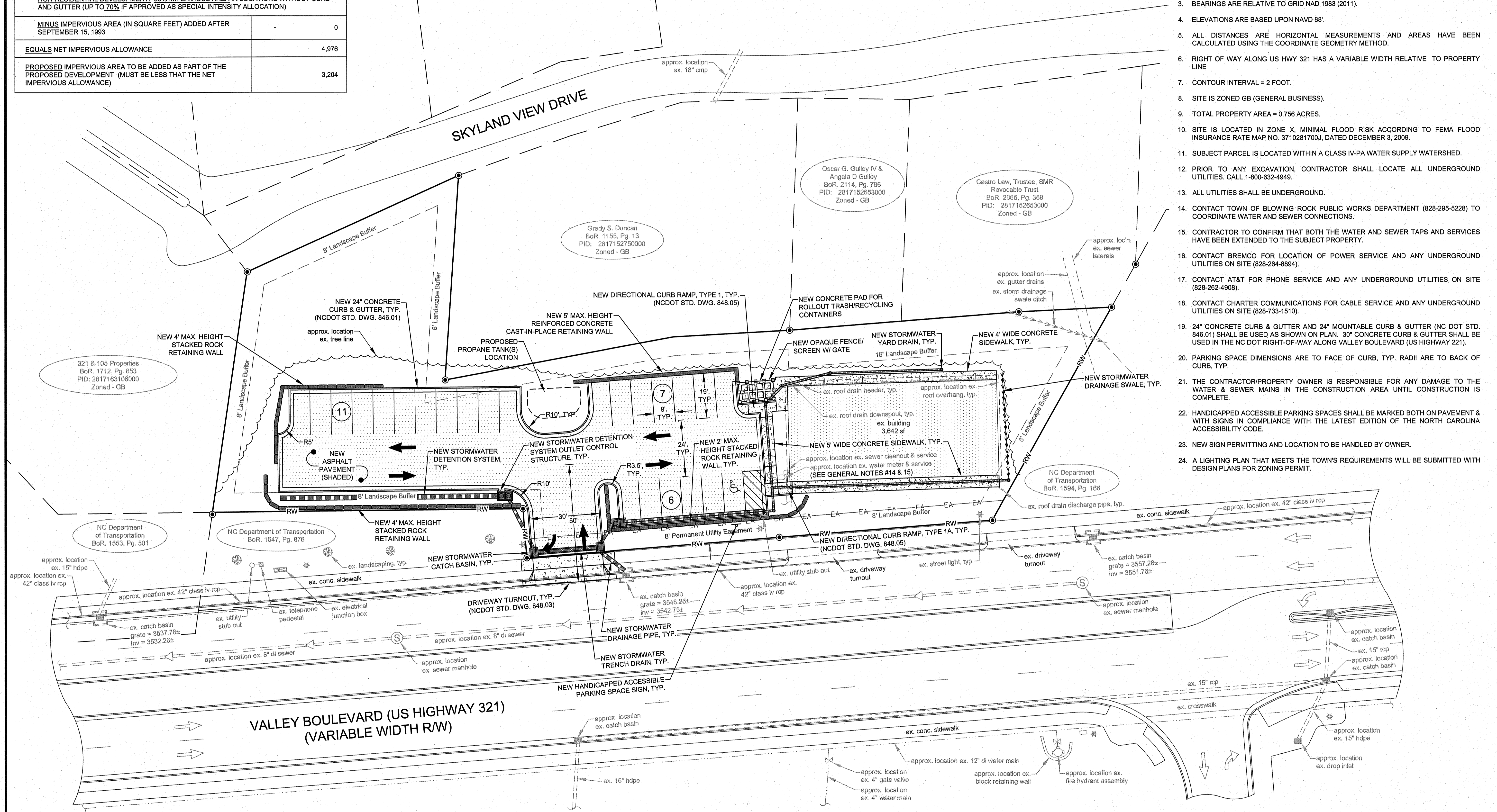
SCALE: AS SHOWN
DATE: 1-19-22
DRWN. BY: SG/JEGT
CHKD. BY: AJC

PROJECT NUMBER: B21031
DRAWING NO.: C-2 SHEET NO.: 2 OF 12

WS-IV-PA WATERSHED CALCULATIONS	
TOTAL AREA (SQ. FEET OF PROPERTY)	32,952
MINUS IMPERVIOUS AREA IN SQUARE FEET EXISTING PRIOR TO SEPTEMBER 15, 1993 (DATE OF ORDINANCE)	12,217
EQUALS NET AREA OF SUBJECT PROPERTY	20,735
TIMES PERCENT OF IMPERVIOUS AREA ALLOWED (SEE PERMITTED ALLOWANCE LISTED BELOW)	X 0.24
MULTI-FAMILY RESIDENTIAL: 24% IMPERVIOUS AREA (UP TO 34% WITH VARIANCE) NON-RESIDENTIAL DEVELOPMENT: 24% IMPERVIOUS AREA IN LOCATIONS THAT HAVE CURB AND GUTTER (UP TO 70% IF APPROVED AS SPECIAL INTENSITY ALLOCATION) NON-RESIDENTIAL DEVELOPMENT: 38% IMPERVIOUS AREA IN LOCATIONS WITHOUT CURB AND GUTTER (UP TO 70% IF APPROVED AS SPECIAL INTENSITY ALLOCATION)	
MINUS IMPERVIOUS AREA (IN SQUARE FEET) ADDED AFTER SEPTEMBER 15, 1993	0
EQUALS NET IMPERVIOUS ALLOWANCE	4,976
PROPOSED IMPERVIOUS AREA TO BE ADDED AS PART OF THE PROPOSED DEVELOPMENT (MUST BE LESS THAN THE NET IMPERVIOUS ALLOWANCE)	3,204

GENERAL NOTES:

- BOUNDARY SURVEY PREPARED BY DAVID K. STERN PLS, L-1301, RECORDED FEBRUARY 18, 2020.
- TOPOGRAPHIC INFORMATION ACQUIRED BY DAVID K. STERN, L-1301 PUBLISHED JUNE 18, 2020.
- BEARINGS ARE RELATIVE TO GRID NAD 1983 (2011).
- ELEVATIONS ARE BASED UPON NAVD 88°.
- ALL DISTANCES ARE HORIZONTAL MEASUREMENTS AND AREAS HAVE BEEN CALCULATED USING THE COORDINATE GEOMETRY METHOD.
- RIGHT OF WAY ALONG US HWY 321 HAS A VARIABLE WIDTH RELATIVE TO PROPERTY LINE.
- CONTOUR INTERVAL = 2 FOOT.
- SITE IS ZONED GB (GENERAL BUSINESS).
- TOTAL PROPERTY AREA = 0.756 ACRES.
- SITE IS LOCATED IN ZONE X, MINIMAL FLOOD RISK ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 3710281700J, DATED DECEMBER 3, 2009.
- SUBJECT PARCEL IS LOCATED WITHIN A CLASS IV-PA WATER SUPPLY WATERSHED.
- PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES. CALL 1-800-632-4949.
- ALL UTILITIES SHALL BE UNDERGROUND.
- CONTACT TOWN OF BLOWING ROCK PUBLIC WORKS DEPARTMENT (828-295-5228) TO COORDINATE WATER AND SEWER CONNECTIONS.
- CONTRACTOR TO CONFIRM THAT BOTH THE WATER AND SEWER TAPS AND SERVICES HAVE BEEN EXTENDED TO THE SUBJECT PROPERTY.
- CONTACT BREMCO FOR LOCATION OF POWER SERVICE AND ANY UNDERGROUND UTILITIES ON SITE (828-284-8894).
- CONTACT AT&T FOR PHONE SERVICE AND ANY UNDERGROUND UTILITIES ON SITE (828-262-4908).
- CONTACT CHARTER COMMUNICATIONS FOR CABLE SERVICE AND ANY UNDERGROUND UTILITIES ON SITE (828-733-1510).
- 24" CONCRETE CURB & GUTTER AND 24" MOUNTABLE CURB & GUTTER (NC DOT STD. 846.01) SHALL BE USED AS SHOWN ON PLAN. 30" CONCRETE CURB & GUTTER SHALL BE USED IN THE NC DOT RIGHT-OF-WAY ALONG VALLEY BOULEVARD (US HIGHWAY 221).
- PARKING SPACE DIMENSIONS ARE TO FACE OF CURB, TYP. RADII ARE TO BACK OF CURB, TYP.
- THE CONTRACTOR/PROPERTY OWNER IS RESPONSIBLE FOR ANY DAMAGE TO THE WATER & SEWER MAINS IN THE CONSTRUCTION AREA UNTIL CONSTRUCTION IS COMPLETE.
- HANDICAPPED ACCESSIBLE PARKING SPACES SHALL BE MARKED BOTH ON PAVEMENT & WITH SIGNS IN COMPLIANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA ACCESSIBILITY CODE.
- NEW SIGN PERMITTING AND LOCATION TO BE HANDLED BY OWNER.
- A LIGHTING PLAN THAT MEETS THE TOWN'S REQUIREMENTS WILL BE SUBMITTED WITH DESIGN PLANS FOR ZONING PERMIT.



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MUNICIPAL ENGINEERING, INC.
68 SHIPWASH DRIVE, GARNER, NC 27529 • PHONE: 919-772-5393
820-B STATE FARM ROAD, BOONE, NC 28607 • PHONE: 828-262-1767
LICENSE NUMBER: F-0812



**COMMERCIAL REDEVELOPMENT
SPECIAL USE PERMIT**
8263 VALLEY BOULEVARD
BLOWING ROCK, NORTH CAROLINA

DATE	BY	REV.	DESCRIPTION

SITE PLAN

SCALE:	AS SHOWN
DATE:	1-19-22
DRWN. BY:	SG/JEGT
CHKD. BY:	AJC
PROJECT NUMBER:	B21031
DRAWING NO.:	C-3
SHEET NO.:	3 OF 12

GRADING GENERAL NOTES:

- ALL EXISTING FIELD CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT SITE ENGINEER AND OWNER IMMEDIATELY IF ANY DISCREPANCIES ARE NOTICED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF THE TBM (TEMPORARY BENCHMARK) PRIOR TO STARTING CONSTRUCTION. CONTACT SURVEYOR AS NECESSARY.
- CONTRACTORS SURVEYOR TO STAKE ALL PARKING LOT CORNERS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT SURVEYOR TO APPROVE PRIOR TO STARTING BUILDING CONSTRUCTION.
- ALL SITE A.D.A. PARKING SPACES SHALL BE GRADED TO HAVE A MAXIMUM IN ANY DIRECTION OF 2% (1:48).
- ALL SITE A.D.A. ACCESSIBLY ROUTES SHALL BE GRADED TO HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20) AND A MAXIMUM CROSS-SLOPE OF 2% (1:48).
- MAXIMUM SLOPE IN ANY PARKING SPACE SHALL BE 5%.
- ALL FILL/CUT SLOPES ON THE SITE SHALL BE 2H:1V OR AS INDICATED ON THE PLAN.
- THE CONTRACTOR SHALL GRADE AROUND ALL LANDSCAPE ISLANDS TO PROVIDE POSITIVE DRAINAGE AROUND THE ISLAND AT MINIMUM 1% SLOPE.
- THE RETAINING WALLS ON THE CIVIL PLANS ARE SHOWN TO INDICATE THE FINISHED GRADE ELEVATIONS AT THE TOP AND BOTTOM OF RETAINING WALLS TO INDICATE THE WALL HEIGHTS AND ARE SUBJECT TO CHANGE. REFER TO THE WALL DESIGNER'S PLAN FOR EMBEDMENT DEPTH, TOTAL HEIGHT OF FOOTER AND BACKFILL SPECIFICATIONS.
- THIS DRAWING IS NOT TO BE USED BY THE CONTRACTOR AS A CERTIFIED CONSTRUCTION DRAWING FOR RETAINING WALL CONSTRUCTION.
- CONTRACTOR TO HAVE RETAINING WALLS DESIGNED AS REQUIRED.

STORMWATER DRAINAGE GENERAL NOTES:

- STORMWATER PIPES ON-SITE HAVE BEEN DESIGNED FOR A 10-YEAR, 24-HOUR STORM EVENT AT A 5 MINUTE DURATION (RAINFALL DEPTH = 6.80 INCHES).
- STORMWATER DETENTION SYSTEMS ON-SITE HAVE BEEN DESIGNED TO ENSURE THE POST-DEVELOPMENT 10-YEAR, 24-HOUR PEAK DISCHARGE FOR THE SITE SHALL NOT EXCEED THE 10-YEAR, 24-HOUR PRE-DEVELOPMENT PEAK DISCHARGE FOR THE SITE.
- STORMWATER DRAINAGE DESIGN CONFORMS TO THE STANDARDS AND SPECIFICATIONS AS PROVIDED IN THE TOWN OF BLOWING ROCK LAND USE CODE.
- ALL STORMWATER DRAINAGE STRUCTURES AND PIPES SHALL CONFORM TO THE LATEST NCDOT DETAILS AND STANDARDS.
- ALL PIPE LENGTHS SHOWN ON THE STORMWATER DRAINAGE PIPE SCHEDULE ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE ACTUAL FIELD LENGTH.
- CONTRACTOR SHALL VERIFY CONDITION OF EXISTING ROOF DRAIN HEADER BEHIND BUILDING AND REPLACE WITH NEW 6" HDPE PIPE IF EXISTING HEADER IS IN POOR CONDITION.

STORMWATER DRAINAGE PIPE SCHEDULE

PIPE #	MATERIAL	LENGTH (FT)	DIAMETER (IN)	SLOPE (%)
1 - 2	HDPE	47	8	1.06
2 - 3	HDPE	20	10	1.00
3 - 5	HDPE	46	10	1.09
4 - 5	HDPE	100	8	1.00
5 - 6	HDPE	14	10	19.50
7 - 10	HDPE	12	15	20.00
8 - 9	HDPE	27	15	13.33
10 - 9	TD	26	15	5.38
9 - 10	HDPE	26	18	1.15
10 - 11	HDPE	14	18	1.43

STORMWATER DRAINAGE PIPE NOTES:

- HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE DUAL WALL WITH SMOOTH INTERIOR. PIPE MUST MEET AASHTO M294.
- ALL STORM DRAINAGE PIPES SHALL HAVE 1' MINIMUM COVER MEASURED FROM FINISHED GRADE.

STORMWATER DRAINAGE STRUCTURE SCHEDULE

STRUCTURE #	STRUCTURE TYPE	GRATE / RIM / THROAT ELEV.	INV. IN ELEVATION	INV. OUTLET ELEVATION
1	YD	3556.00	--	3554.30
2	YD	3556.00	3553.80	3553.80
3	CO	3556.30	3553.60	3553.60
4	YD	3556.00	--	3554.10
5	CO	3555.60	3553.10	3553.10
6	PE	3555.60	--	3550.37
7	OCS	3552.90 (GRATE) 3553.40 (RIM)	3549.20	3548.20
8	OCS	3551.70 (THROAT) 3552.70 (RIM)	3548.50	3547.50
9	CB	3547.40	3546.40 (TD S) 3543.90 (15" E)	3543.90
10	CB	3548.80	3547.40 (TD N) 3545.80 (15" E)	3543.60
11	ex. cb	3548.25	3543.40 (18" E) 3542.75 (ex. 42")	3542.75

STORMWATER DRAINAGE STRUCTURE NOTES:

YD - YARD DRAIN - 10" INLINE DRAIN WITH DOMED GRATE AS MANUFACTURED BY NYLOPLAST OR APPROVED EQUAL. PROVIDE MIN. 8" HDPE OUTLET DRAIN LINES AT 1% MIN. SLOPE AND TIE TO ROOF DRAIN HEADER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY FITTINGS AND CONNECTIONS TO PROPERLY INSTALL THE YARD DRAINS. ADJUST INLET ELEVATIONS AS NECESSARY TO PREVENT PONDING WATER ABOVE FINISHED FLOOR ELEVATION OF THE BUILDING.

CO - CLEANOUT - SEE DETAIL ON PLAN SHEET C-10.

PE - PIPE END.

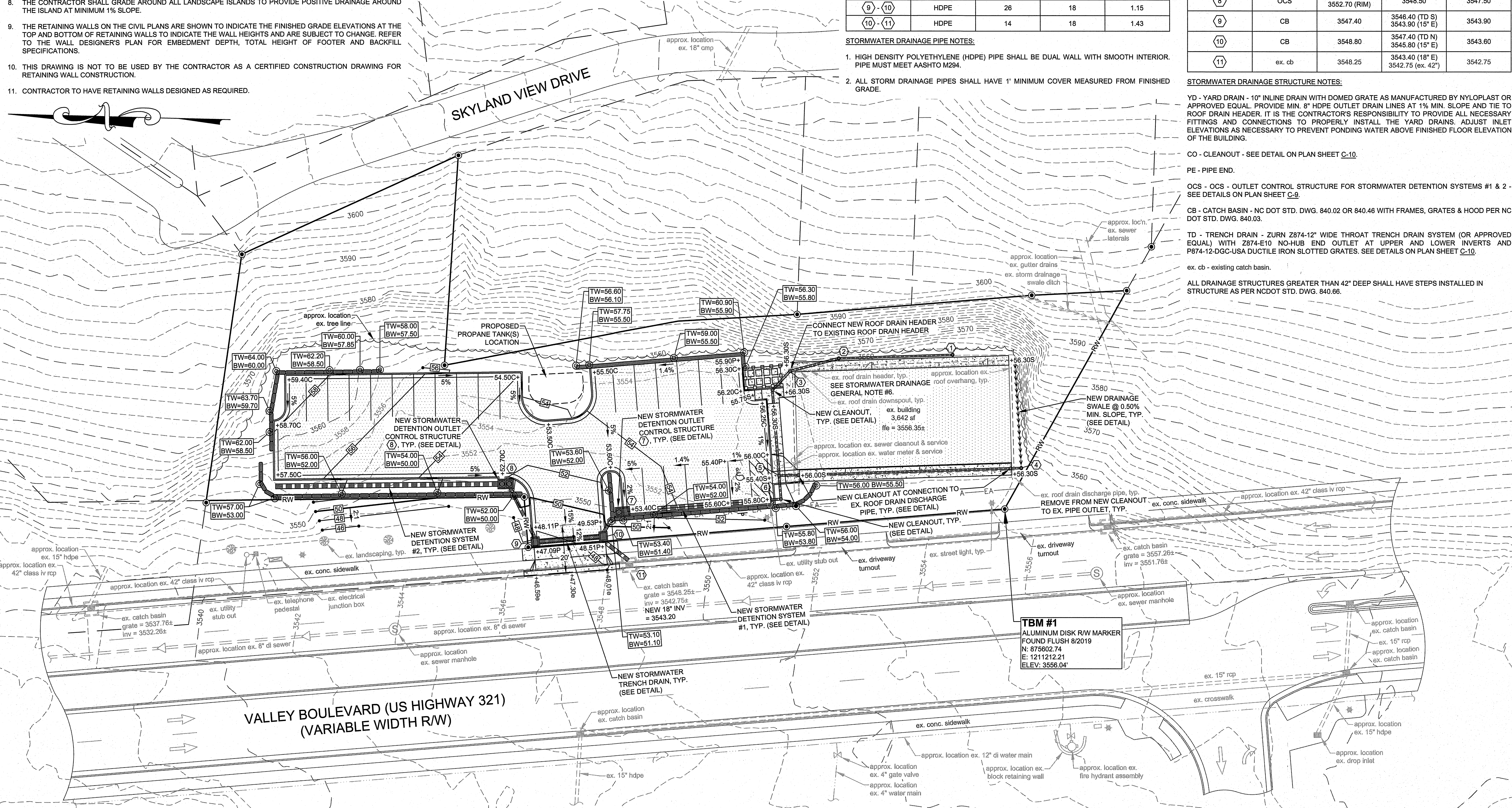
OCS - OCS - OUTLET CONTROL STRUCTURE FOR STORMWATER DETENTION SYSTEMS #1 & 2 - SEE DETAILS ON PLAN SHEET C-9.

CB - CATCH BASIN - NC DOT STD. DWG. 840.02 OR 840.46 WITH FRAMES, GRATES & HOOD PER NC DOT STD. DWG. 840.03.

TD - TRENCH DRAIN - ZURN Z874-12" WIDE THROAT TRENCH DRAIN SYSTEM (OR APPROVED EQUAL) WITH Z874-E10 NO-HUB END OUTLET AT UPPER AND LOWER INVERTS AND P874-12-DGC-USA DUCTILE IRON SLOTTED GRATES. SEE DETAILS ON PLAN SHEET C-10.

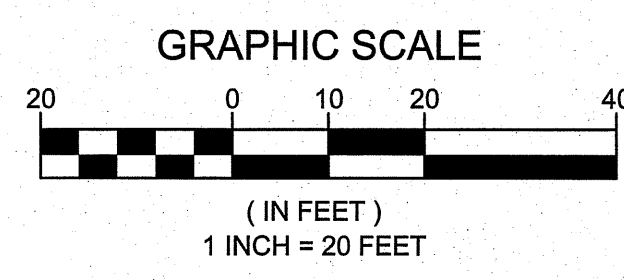
ex. cb - existing catch basin.

ALL DRAINAGE STRUCTURES GREATER THAN 42" DEEP SHALL HAVE STEPS INSTALLED IN STRUCTURE AS PER NCDOT STD. DWG. 840.66.



GRADING & STORMWATER DRAINAGE LEGEND

56.50+	EXISTING GRADE SPOT ELEV.	2:1	FINISHED GRADE SLOPE (HORIZONTAL SLOPE: VERTICAL SLOPE)	3500	EXISTING MAJOR CONTOUR	1	NEW STORMWATER DRAINAGE STRUCTURE NUMBER	←←←←←	NEW STORMWATER DRAINAGE SWALE
56.50P+	FINISHED GRADE SPOT ELEV. TOP OF NEW PAVEMENT	5%	FINISHED GRADE SLOPE (PERCENT SLOPE)	---	EXISTING MINOR CONTOUR	OR	NEW STORMWATER DRAINAGE PIPE	●	NEW STORMWATER YARD DRAIN
56.50C+	FINISHED GRADE SPOT ELEV. TOP OF NEW CONC. CURB	HP	FINISHED GRADE SLOPE (SLOPE DIRECTION)	---	FINISHED GRADE MAJOR CONTOUR W/ ELEVATION	15	NEW STORMWATER DRAINAGE STRUCTURE	○	NEW STORMWATER CLEANOUT
56.50S+	FINISHED GRADE SPOT ELEV. TOP OF NEW CONC. SIDEWALK	LP	FINISHED GRADE SLOPE (SLOPE DIRECTION)	TW	FINISHED GRADE MINOR CONTOUR	HP	NEW STORMWATER DETENTION OUTLET CONTROL STRUCTURE	RDH	ROOF DRAIN FROM DOWNSPOUT
56.50F+	FINISHED GRADE SPOT ELEV. NEW GROUND SURFACE		FINISHED GRADE AT TOP OF RETAINING WALL	BW	FINISHED GRADE AT BOTTOM OF RETAINING WALL	HDPE	NEW STORMWATER TRENCH DRAIN	HDPE	ROOF DRAIN HEADER
FFE = 3156.50'						RCP		RCP	HIGH DENSITY POLYETHYLENE PIPE
									REINFORCED CONCRETE PIPE



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SPECIAL USE PERMIT**
8263 VALLEY BOULEVARD
BLOWING ROCK, NORTH CAROLINA

DATE	BY	REV.	DESCRIPTION

SCALE: AS SHOWN
DATE: 1-19-22
DRWN. BY: SGJ/EGT
CHKD. BY: AJC
PROJECT NUMBER: B21031
DRAWING NO. C-4 SHEET NO. 4 OF 12

EROSION & SEDIMENTATION CONTROL LEGEND

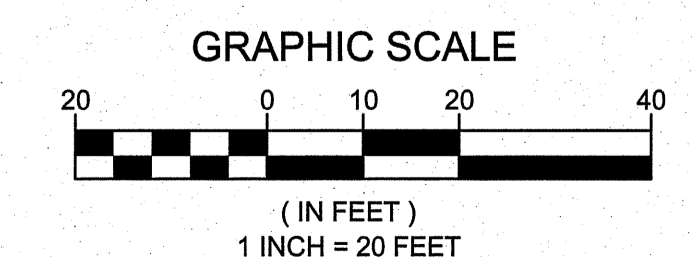
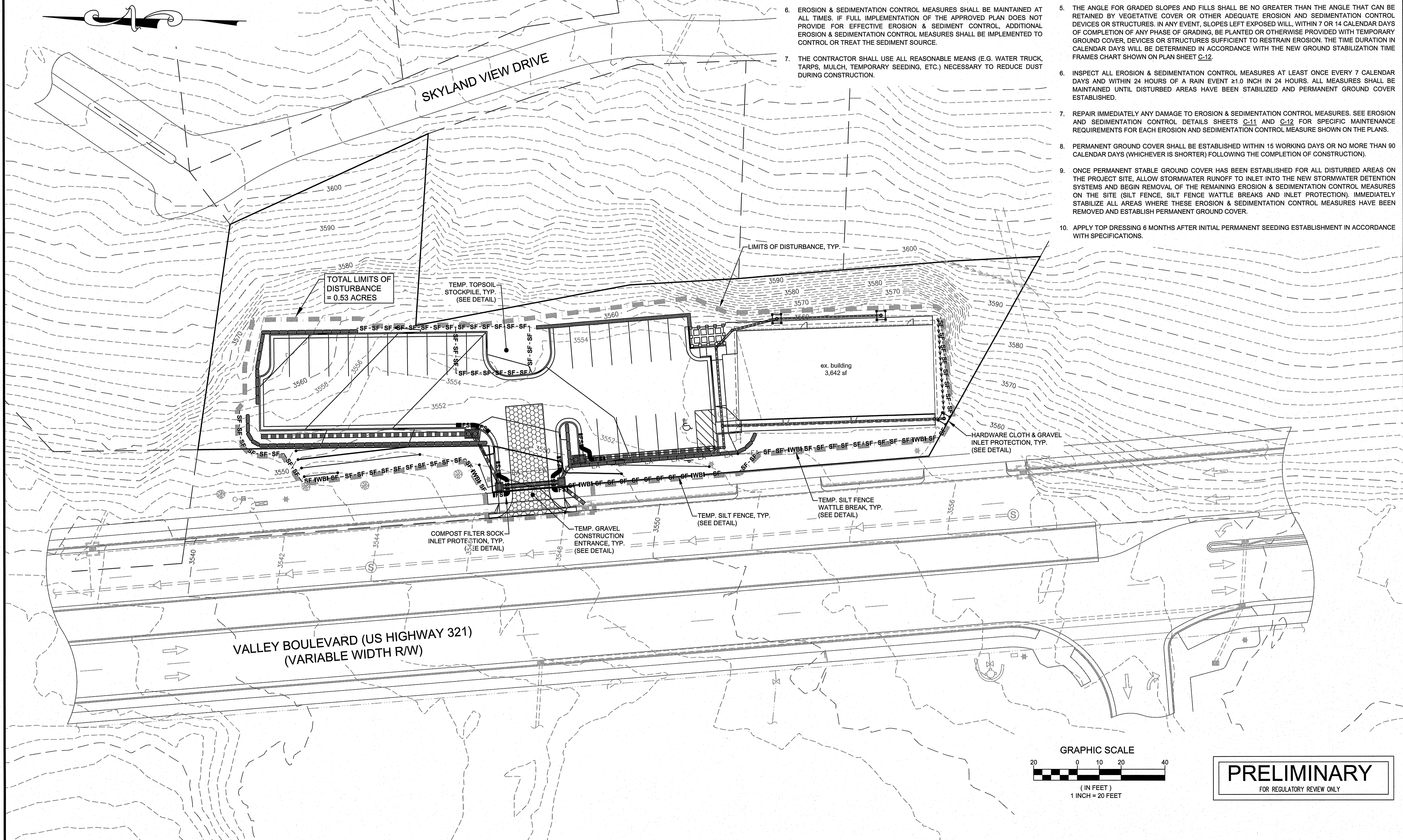
- LIMITS OF DISTURBANCE
- SF-SF-SF- SILT FENCE
- IWBI SILT FENCE WATTLE BREAK
- [Symbol] HARDWARE CLOTH AND GRAVEL INLET PROTECTION
- IFS [Symbol] CATCH BASIN/PIPE INLET COMPOST FILTER SOCK INLET PROTECTION
- [Symbol] TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

CONSTRUCTION NOTES

1. REFER TO SITE WORK SPECIFICATIONS FOR GRADING, COMPACTING, DRAINAGE AND SEDIMENT & EROSION CONTROL.
2. ALL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER THE NCDEQ EROSION & SEDIMENT CONTROL PLANNING & DESIGN MANUAL.
3. ALL EROSION & SEDIMENTATION CONTROL FABRIC SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
4. IF CONTRACTOR WISHES TO USE AN EROSION & SEDIMENTATION CONTROL FABRIC OTHER THAN WHAT IS SPECIFIED, PRIOR APPROVAL MUST BE GRANTED BY THE ENGINEER.
5. CONTRACTOR SHALL PLACE CONCRETE INVERTS TO THE LEVEL OF THE OUTLET PIPE IN ALL DRAINAGE STRUCTURES SO THAT THERE IS NO PONDING IN STRUCTURES.
6. EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION & SEDIMENT CONTROL, ADDITIONAL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
7. THE CONTRACTOR SHALL USE ALL REASONABLE MEANS (E.G. WATER TRUCK, TARPS, MULCH, TEMPORARY SEEDING, ETC.) NECESSARY TO REDUCE DUST DURING CONSTRUCTION.


CONSTRUCTION SEQUENCE

1. PRIOR TO ANY GROUND DISTURBING ACTIVITIES, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES. CALL 811.
2. SCHEDULE PRE-CONSTRUCTION MEETING WITH WATAUGA COUNTY PLANNING & INSPECTIONS (828-250-4848).
3. BEGIN CLEARING AND GRUBBING WORK FOR THE INSTALLATION OF THE SILT FENCES, SILT FENCE WATTLE BREAKS, GRAVEL CONSTRUCTION ENTRANCE AND TOPSOIL STOCKPILE AND BEGIN GRADING WORK FOR THESE MEASURES. INSTALL SILT FENCE AROUND TOPSOIL STOCKPILE AREA AND ANY ADDITIONAL STOCKPILE AREAS ON THE SITE.
4. BEGIN GRADING WORK FOR THE NEW DRIVEWAY, PARKING LOT, SIDEWALKS AND RETAINING WALLS. INSTALL STORMWATER DRAINAGE STRUCTURES AND PIPES AS GRADING WORK IS BEING COMPLETED. INSTALL THE SPECIFIED INLET PROTECTION MEASURE AT EACH DRAINAGE STRUCTURE THE SAME DAY THE STRUCTURE IS INSTALLED. DO NOT ALLOW STORMWATER RUNOFF TO ENTER DETENTION SYSTEMS #1 AND 2 UNTIL ALL AREAS DRAINING TO THE STORMWATER INLETS HAVE BEEN STABILIZED WITH GROUND COVER ESTABLISHED.
5. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION AND SEDIMENTATION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 7 OR 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. THE TIME DURATION IN CALENDAR DAYS WILL BE DETERMINED IN ACCORDANCE WITH THE NEW GROUND STABILIZATION TIME FRAMES CHART SHOWN ON PLAN SHEET C-12.
6. INSPECT ALL EROSION & SEDIMENTATION CONTROL MEASURES AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAIN EVENT ≥1.0 INCH IN 24 HOURS. ALL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS HAVE BEEN STABILIZED AND PERMANENT GROUND COVER ESTABLISHED.
7. REPAIR IMMEDIATELY ANY DAMAGE TO EROSION & SEDIMENTATION CONTROL MEASURES. SEE EROSION AND SEDIMENTATION CONTROL DETAILS SHEETS C-11 AND C-12 FOR SPECIFIC MAINTENANCE REQUIREMENTS FOR EACH EROSION AND SEDIMENTATION CONTROL MEASURE SHOWN ON THE PLANS.
8. PERMANENT GROUND COVER SHALL BE ESTABLISHED WITHIN 15 WORKING DAYS OR NO MORE THAN 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING THE COMPLETION OF CONSTRUCTION).
9. ONCE PERMANENT STABLE GROUND COVER HAS BEEN ESTABLISHED FOR ALL DISTURBED AREAS ON THE PROJECT SITE, ALLOW STORMWATER RUNOFF TO INLET INTO THE NEW STORMWATER DETENTION SYSTEMS AND BEGIN REMOVAL OF THE REMAINING EROSION & SEDIMENTATION CONTROL MEASURES ON THE SITE (SILT FENCE, SILT FENCE WATTLE BREAKS AND INLET PROTECTION). IMMEDIATELY STABILIZE ALL AREAS WHERE THESE EROSION & SEDIMENTATION CONTROL MEASURES HAVE BEEN REMOVED AND ESTABLISH PERMANENT GROUND COVER.
10. APPLY TOP DRESSING 6 MONTHS AFTER INITIAL PERMANENT SEEDING ESTABLISHMENT IN ACCORDANCE WITH SPECIFICATIONS.



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LICENSE NUMBER: F-0812



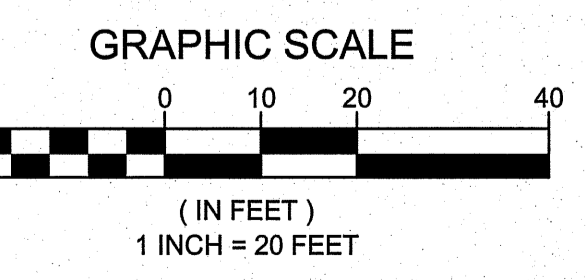
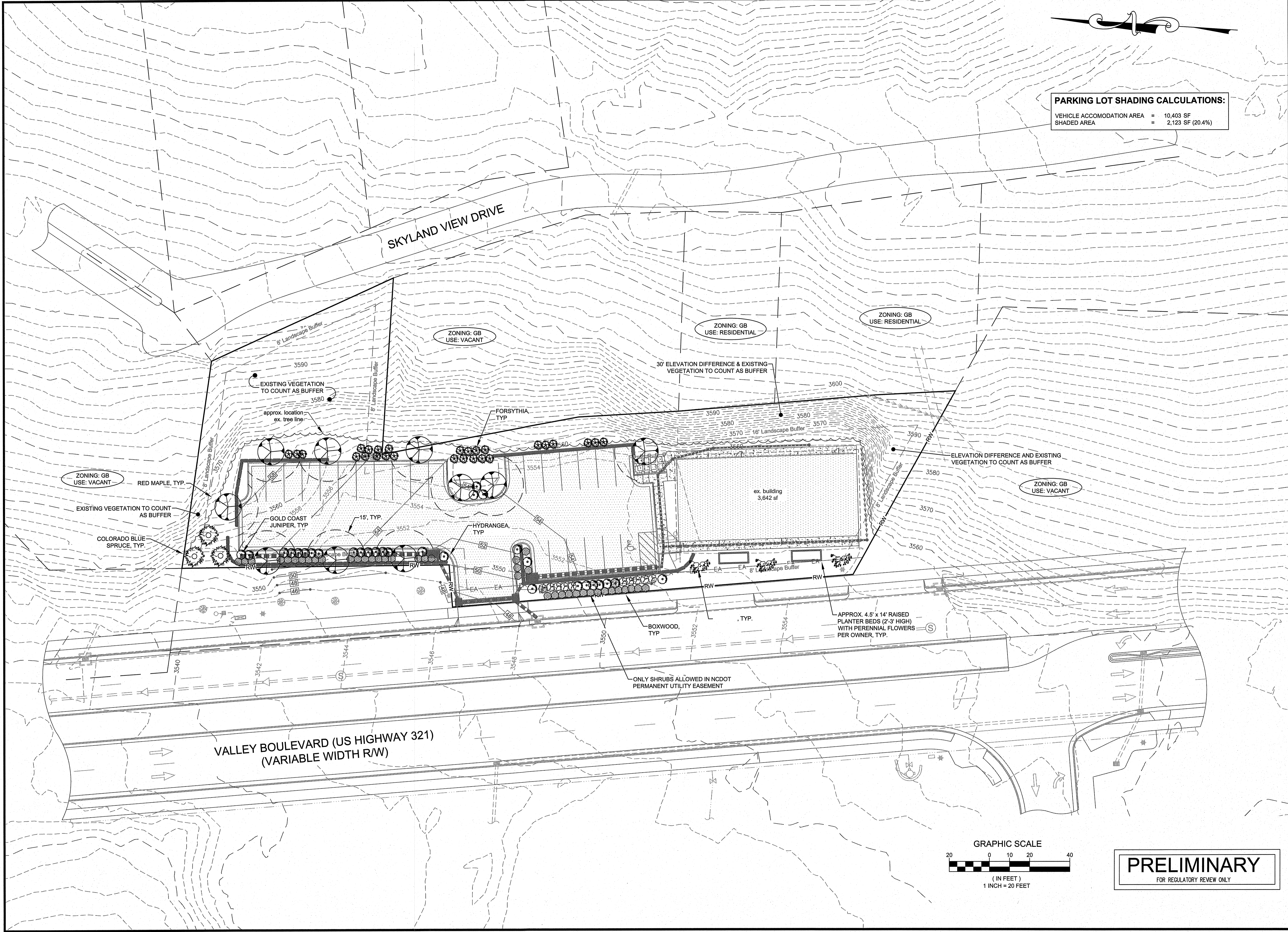
**COMMERCIAL REDEVELOPMENT
SPECIAL USE PERMIT
8263 VALLEY BOULEVARD
BLOWING ROCK, NORTH CAROLINA**

DATE	BY	REV.	DESCRIPTION

EROSION & SEDIMENTATION CONTROL PLAN

SCALE: AS SHOWN	
DATE: 1-19-22	
DRWN. BY: SG/EGT	
CHKD. BY: A/JC	
PROJECT NUMBER: B21031	
DRAWING NO. C-5	SHEET NO. 5 OF 12

PARKING LOT SHADING CALCULATIONS:
 VEHICLE ACCOMMODATION AREA = 10,403 SF
 SHADED AREA = 2,123 SF (20.4%)



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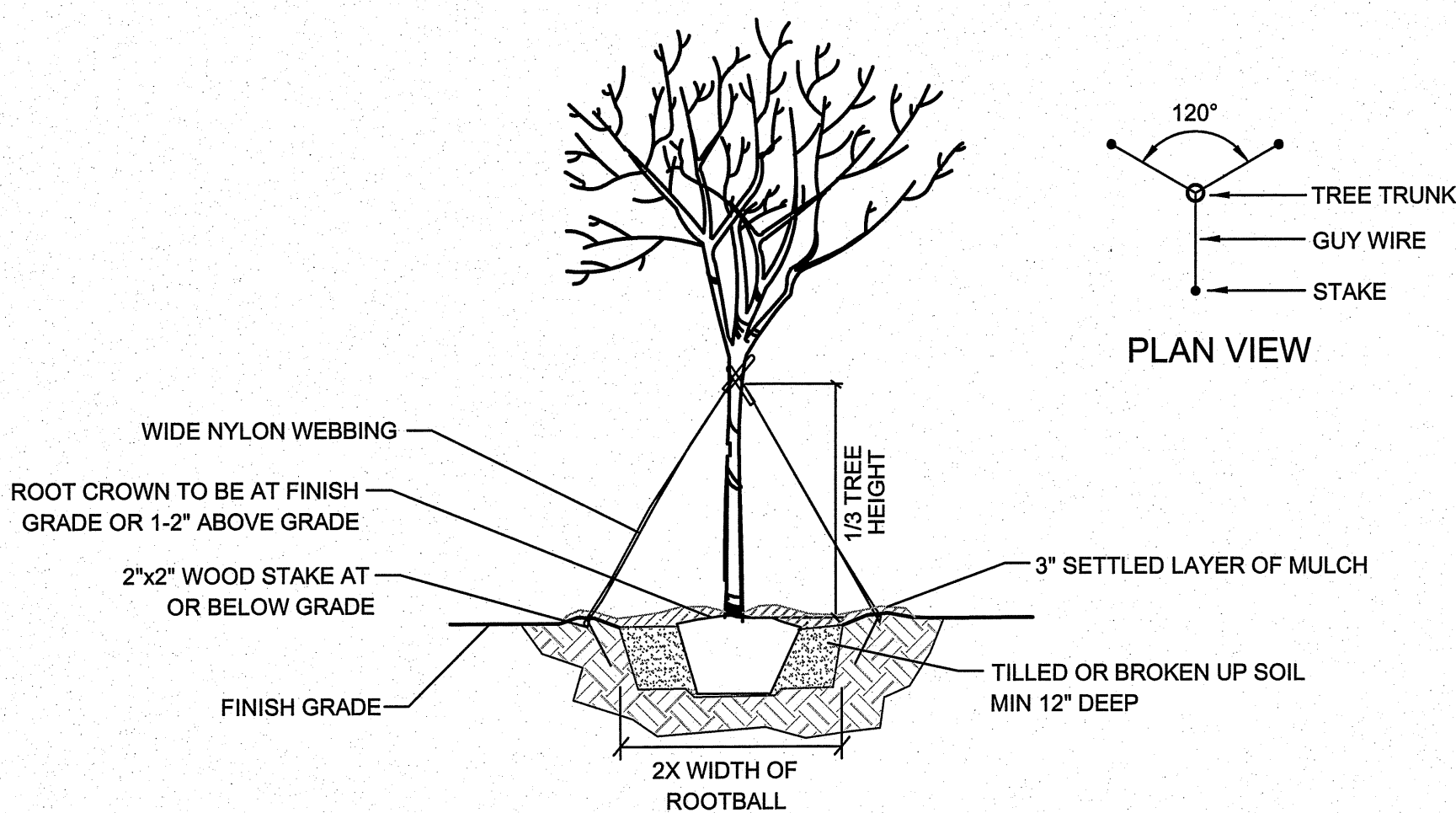
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 LICENSE NUMBER: F-0812

**COMMERCIAL REDEVELOPMENT
 SPECIAL USE PERMIT**
 8263 VALLEY BOULEVARD
 BLOWING ROCK, NORTH CAROLINA

DATE	BY	DESCRIPTION

LANDSCAPE PLAN

SCALE:	AS SHOWN
DATE:	1-19-22
DRWN. BY:	SG/JEGT
CHKD. BY:	AJC
PROJECT NUMBER:	B21031
DRAWING NO.:	C-6
SHEET NO.:	6 OF 12

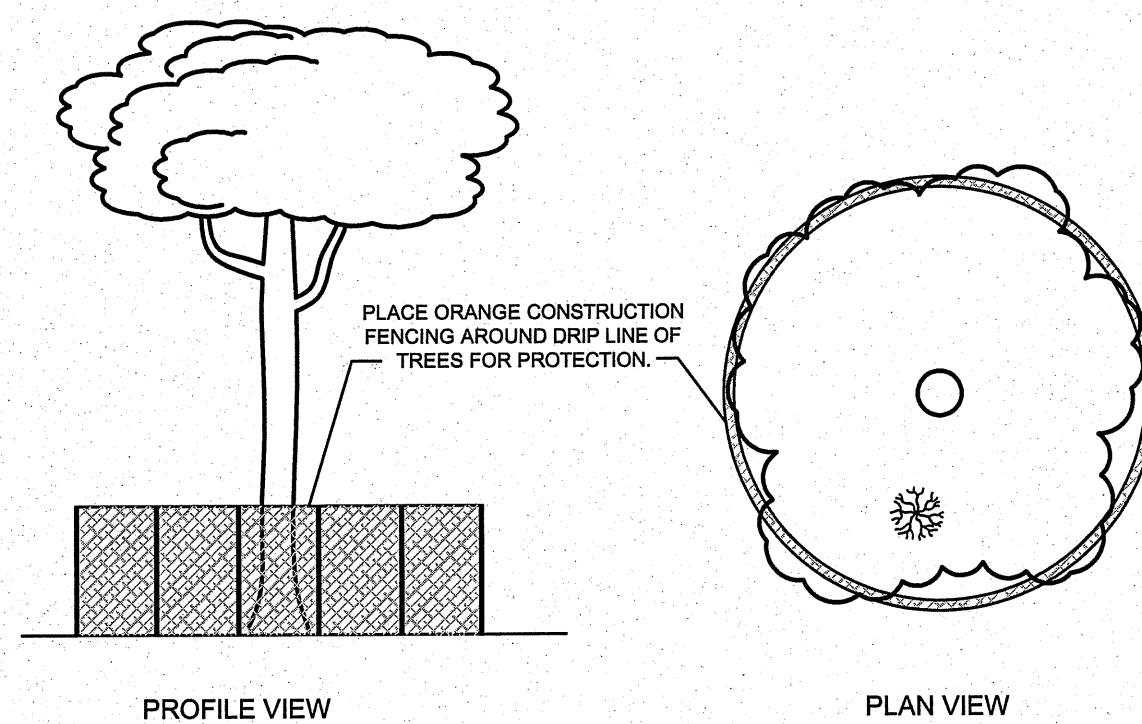


TREE PLANTING NOTES:

1. ALL PLANT PLANTING MUST BE PERFORMED IN ACCORDANCE WITH APPENDIX E IN THE TOWN OF BLOWING ROCK'S LAND USE ORDINANCE.
2. DIG THE PLANTING HOLE A MINIMUM OF 2x WIDTH OF ROOTBALL FOR AT LEAST THE FIRST 12 INCHES OF DEPTH. BELOW 12 INCHES, DIG HOLE WIDE ENOUGH TO PERMIT ADJUSTING. DO NOT DIG THE HOLE DEEPER THAN ROOT BALL DEPTH.
3. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
4. LIFT AND SET THE TREE BY ROOT BALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
5. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
6. AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/3 OF THE ROOTBALL.
7. BACKFILL WITH EXISTING SOIL THAT HAS BEEN WELL-TILLED OR BROKEN UP. AMEND THE SURFACE WITH MULCH.
8. USE THREE 2" X 2" WOOD STAKES DRIVEN INTO UNDISTURBED SOIL A MINIMUM OF 16 INCHES. SPACE STAKES EQUALLY AROUND THE TREE.
9. ATTACH 3/4" NYLON WEBBING TO CONNECT THE TREE TO STAKES. ATTACH WEBBING AT 1/3 THE TREE HEIGHT.
10. APPLY 3" (SETTLED) DEPTH OF SHREDDED HARDWOOD MULCH TO THE PLANTING SURFACE. LEAVE A 2" SPACE AROUND THE TRUNK FOR AIR CIRCULATION.
11. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH THE TOWN OF BLOWING ROCK STANDARDS.
12. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.

TREE PLANTING DETAIL

NOT TO SCALE

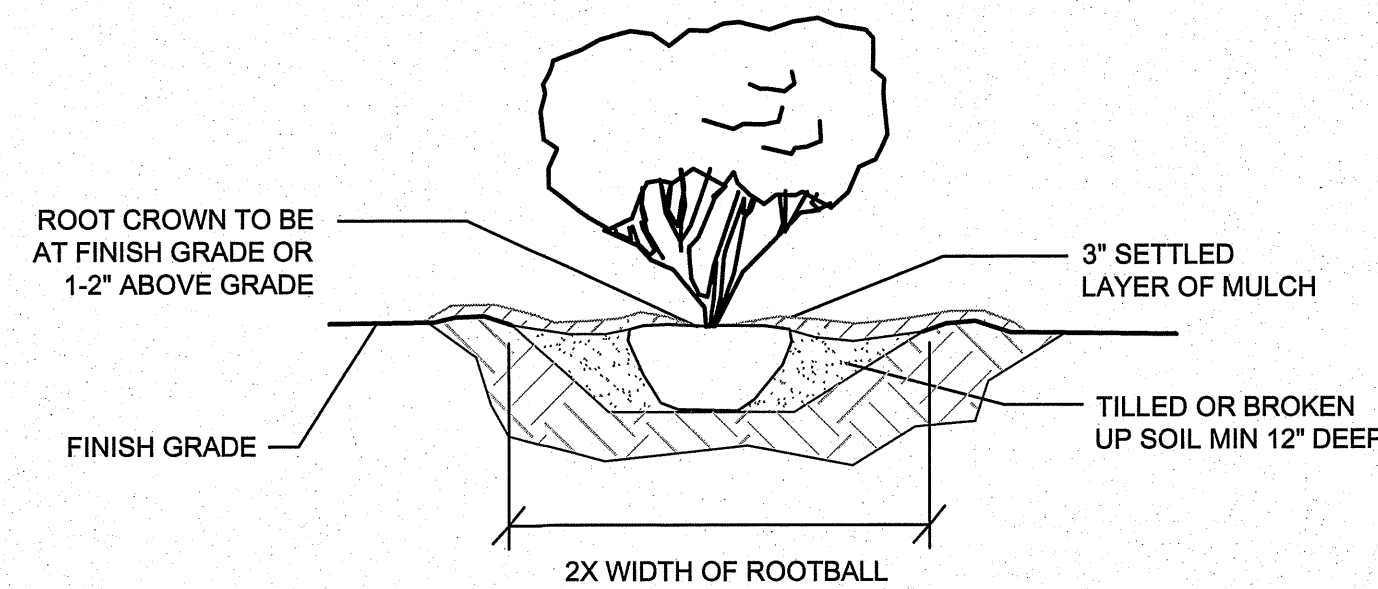


TREE PROTECTION NOTES:

1. PLACE BARRIERS TO PREVENT THE APPROACH OF EQUIPMENT WITHIN THE DRIP LINE OF TREES TO BE RETAINED.
2. DO NOT NAIL BOARDS TO TREES DURING BUILDING OPERATIONS.
3. DO NOT CUT TREE ROOTS INSIDE THE DRIP LINE.
4. DO NOT PLACE EQUIPMENT, CONSTRUCTION MATERIALS, TOPSOIL, OR FILL DIRT WITHIN THE LIMIT OF THE DRIP LINE OF TREES TO BE SAVED.

TREE PROTECTION DETAIL

NOT TO SCALE



SHRUB PLANTING NOTES:

1. ALL PLANT PLANTING MUST BE PERFORMED IN ACCORDANCE WITH APPENDIX E IN THE TOWN OF BLOWING ROCK'S LAND USE ORDINANCE.
2. DIG PLANTING HOLE AT LEAST 2X THE WIDTH OF THE ROOT BALL OR CONTAINER.
3. SCARIFY SUBGRADE AND SIDES OF PLANTING HOLE WHEN PLANTING IN CLAY SOIL.
4. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE, OR 1-2" ABOVE IF THE SOIL IS PRONE TO SETTLING.
5. IF CONTAINER GROWN PLANT, GENTLY SLIDE PLANT OUT OF CONTAINER. DISTURB THE ROOTS.
6. IF B&B PLANT, REMOVE BURLAP FROM AT LEAST THE TOP 12 INCHES OF THE ROOTBALL, WITHOUT DISTURBING THE ROOTBALL. REMOVE ALL CORD FROM THE TRUNK. REMOVE BURLAP AND WIRE BASKET (IF PRESENT) FROM THE ROOT BALL.
7. BACK FILL THE PLANTING HOLE WITH EXCAVATED NATIVE SOIL, BROKEN UP OR TILLED. WATER TO REMOVE AIR POCKETS.
8. PLACE SHREDDED HARDWOOD MULCH ON THE SURFACE TO A (SETTLED) DEPTH OF 3 INCHES.

SHRUB PLANTING DETAIL

NOT TO SCALE

PLANT LIST

	COMMON NAME	SCIENTIFIC NAME	QTY.	CALIPER	SIZE
TREES - EVERGREEN					
	COLORADO SPRUCE	PICEAS PUNGUENS	3	-	8'
TREES - DECIDUOUS					
	RED MAPLE	ACER RUBRUM	10	2 1/2"	12'-14'
	PAPER BIRCH	BETULA POPYRIFERIA	3	2 1/2"	12'-14'
SHRUBS					
	AMERICAN BOXWOOD	BUXUS SEMPERVIRENS	40	-	18"
	ANNABELLE HYDRANGEA	HYDRANGEA ARBORESCENS 'ANNABELLE'	29	-	18"
	WINTERBERRY HOLLY	ILEX VERTICILLATA	10	-	18"
	FORSYTHIA	BOXWOOD	27	-	18"
* FLOWERS					
			20±	-	1 GAL.
	QUEEN ANNE'S LACE		20±	-	1 GAL.
	RED CROCOSMIA		20±	-	1 GAL.
	SHASTA DASIY		20±	-	1 GAL.
	YELLOW BANANA DAY LILLY		20±	-	1 GAL.
	DAFFODIL		20±	-	1 GAL.

* EXACT NUMBER AND SPECIES OF PERENNIAL FLOWERS TO BE DETERMINED BY OWNER.

1. GENERALLY, NO PARKING SPACE SHALL BE FURTHER THAN SIXTY FEET (60') FROM THE TRUNK OF A SHADE TREE.
2. PLANT ALL TREES AT LEAST 3 1/2' FROM THE END OF HEAD-IN PARKING SPACES IN ORDER TO PREVENT DAMAGE FROM CAR OVERHANGS.
3. SHRUBS SHALL NOT BE PLANTED WITHIN SIX FEET (6') OF THE TRUNK OF A NEW TREE, NOR WITHIN THE DRIP LINE OF EXISTING TREES.
4. NO STORAGE OF MATERIALS, DUMPING OF WASTE MATERIALS, FILL OR PARKING OF EQUIPMENT SHALL BE ALLOWED WITHIN PROTECTED TREE AREAS, EITHER DURING CONSTRUCTION OR AFTER COMPLETION.
5. IF PROTECTED TREES OR SHRUBS DIE AFTER CERTIFICATE OF OCCUPANCY IS ISSUED FOR THE PROJECT, THE OWNER(S) OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE REQUIRED TO REPLACE THE TREES OR SHRUB.
6. THE OWNER(S) OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION, AND MAINTENANCE OF ALL PLANTING AND PHYSICAL FEATURES REQUIRED.
7. INSTALLER IS TO USE THE NUMBER SPECIFIED ON THE PLANT LIST, ACTUAL PLANTS SHOWN ON THE PLAN ARE FOR GRAPHIC REPRESENTATION ONLY.
8. NO AREA LIGHTING, TREES, PARKING SPACES, POWER POLES OR CERTAIN LANDSCAPING SHALL BE PERMITTED WITHIN 15' OF ALL FIRE HYDRANT PORTS OR FIRE DEPARTMENT CONNECTIONS.
9. ALL LANDSCAPED AREAS SHALL RECEIVE 8" MIN. (LOOSE) TOPSOIL.
10. NO TREES OR SHRUBS THAT WILL EXCEED 24" IN HEIGHT AT MATURITY SHALL BE PLANTED WITHIN A 10' x 70' SIGHT TRIANGLE AT THE DRIVEWAY'S INTERSECTION.
11. SUBSTITUTIONS TO THE PLANT LIST ARE PERMITTED AFTER CONSULTATION WITH THE TOWN'S PLANNING DEPARTMENT.

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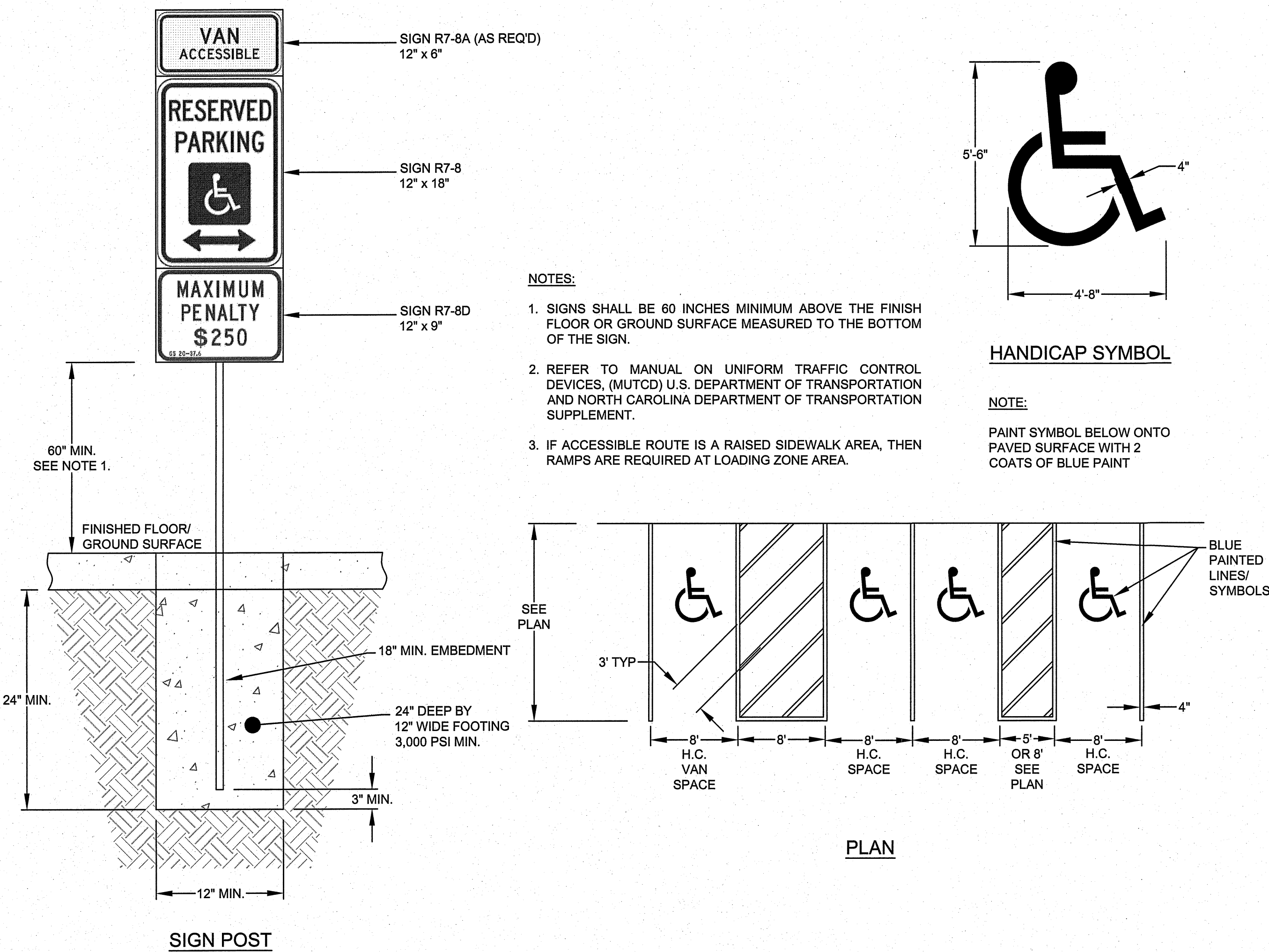
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 LICENSE NUMBER: F-0812



**COMMERCIAL REDEVELOPMENT
 SPECIAL USE PERMIT**
 8263 VALLEY BOULEVARD
 BLOWING ROCK, NORTH CAROLINA

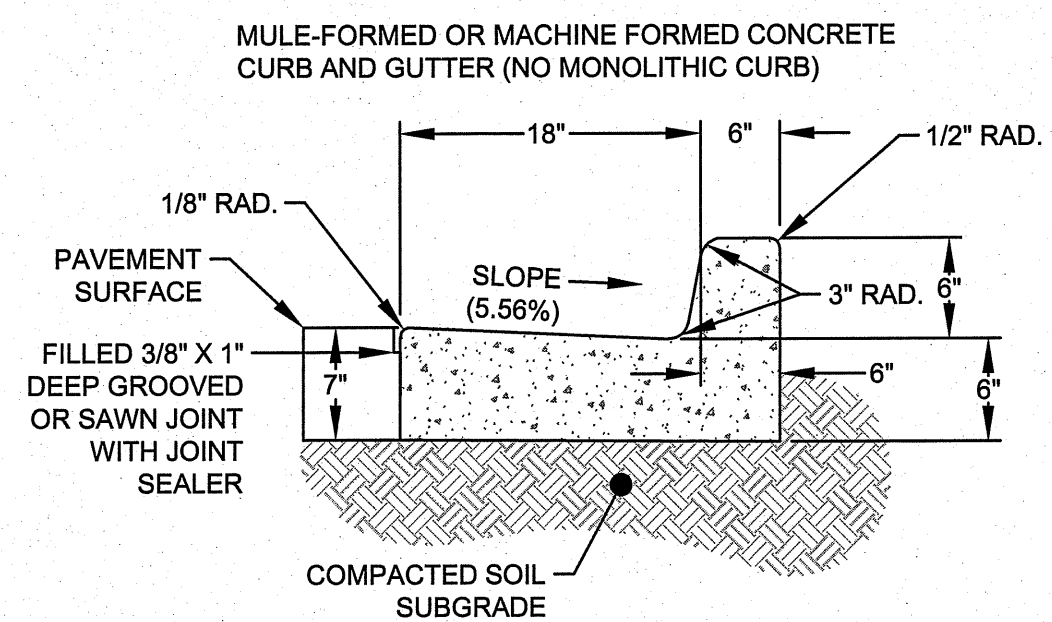
DATE	BY	REV.	DESCRIPTION

SCALE:	AS SHOWN
DATE:	1-19-22
DRWN. BY:	SGJ/EGT
CHKD. BY:	AJC
PROJECT NUMBER:	B21031
DRAWING NO.:	C-7
SHEET NO.:	7 OF 12



TYPICAL ACCESSIBLE PARKING LAYOUT & SIGNAGE

NOT TO SCALE



NOTES: (DETAIL COPIED FROM NCDOT STD. 846.01)

PLACE CONTRACTION JOINTS AT 10' INTERVALS, EXCEPT THAT A 15' SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10' INTERVALS.

JOINT SPACING MAY BE ALTERED IF REQUIRED BY THE ENGINEER.

CONTRACTION JOINTS MAY BE INSTALLED WITH THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS.

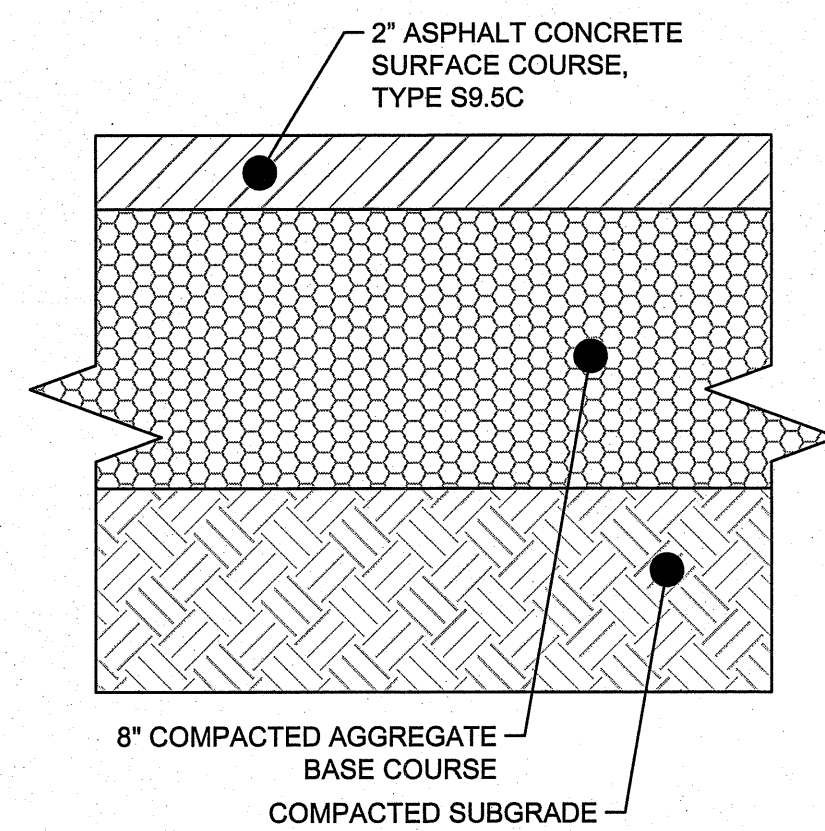
CONSTRUCT NON-TEMPLATE FORMED JOINTS A MIN. OF 1 1/2" DEEP.

FILL ALL CONSTRUCTION JOINTS, EXCEPT IN 8' X 6" MEDIAN CURB WITH JOINT FILLER AND SEALER.

SPACE EXPANSION JOINTS AT 90' INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

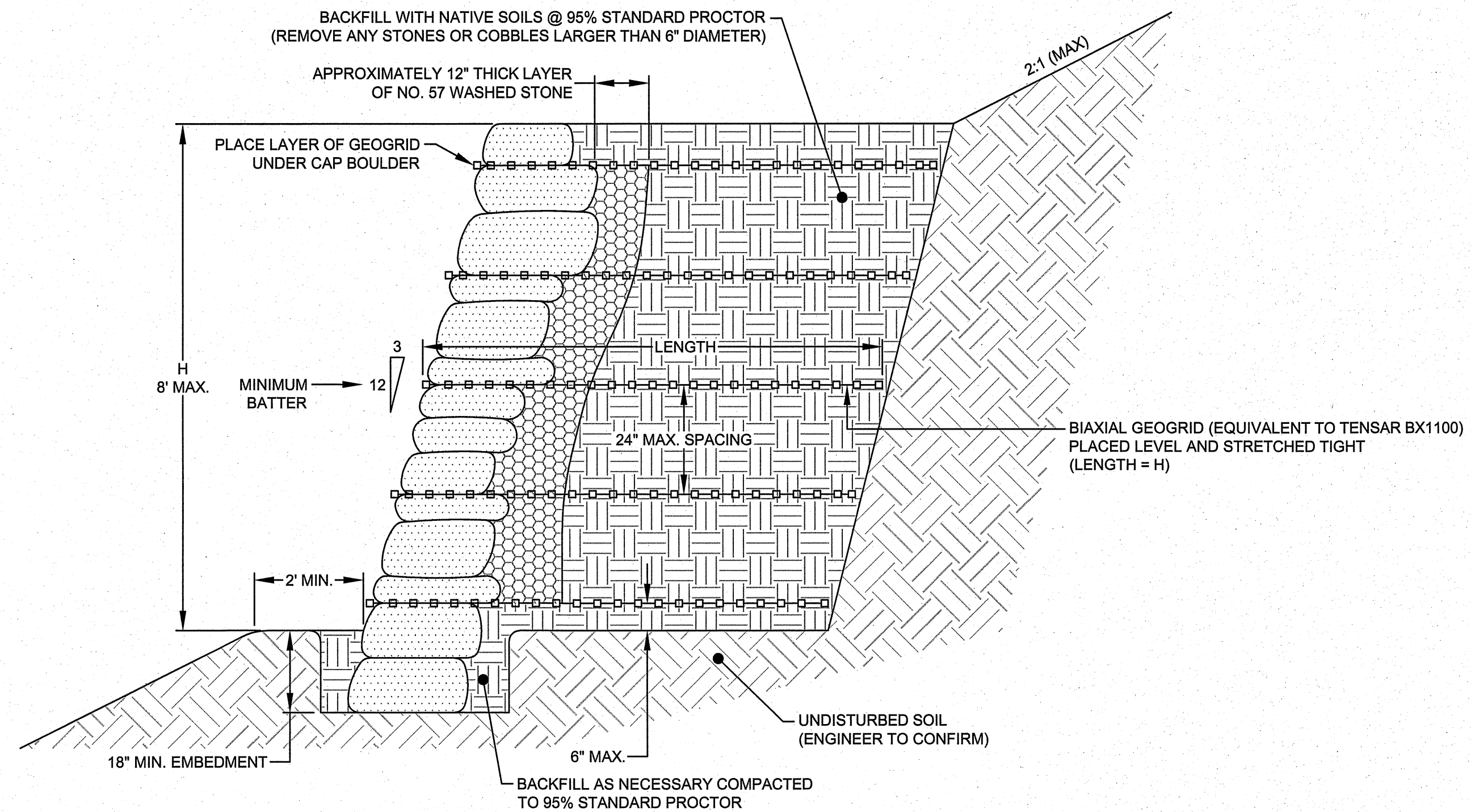
24" CURB AND GUTTER

FOR USE OUTSIDE RIGHT-OF-WAY
NOT TO SCALE



ASPHALT SECTION FOR PARKING AREAS

NOT TO SCALE



RETAINING WALL NOTES:

- STRIP VEGETATION AND ORGANIC SOIL FROM THE WALL AND GEOGRID ALIGNMENT.
- BENCH ALL EXCAVATED SLOPES.
- CONTRACTOR SHALL ENSURE ALL TEMPORARY EXCAVATIONS ARE STABLE AND PROVIDE EXCAVATION SUPPORT IF NEEDED.
- ENGINEER OR INDEPENDENT TESTING AGENCY SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN PARAMETERS. TEST FOR 2,000 PSF BEARING PRESSURE UNLESS OTHERWISE SHOWN ON WALL ELEVATION DRAWINGS.
- GEOGRIDS SHALL BE LAID HORIZONTALLY ON COMPACTED BACKFILL FOR THE REQUIRED GEOGRID LENGTH IN THE TENSILE STRENGTH DIRECTION PERPENDICULAR TO THE WALL FACE.
- THE LENGTH OF THE GEOGRID (L) SHALL BE EQUAL TO THE HEIGHT OF THE RETAINING WALL (H).
- GEOGRIDS SHALL BE PLACED WITHIN 1-INCH OF THE FRONT FACE OF THE BOULDERS AND PULLED TIGHT AFTER PLACEMENT OF THE NEXT COURSE OF BOULDERS, TO EXTEND HORIZONTALLY OVER THE COMPACTED FILL.
- REINFORCED FILL SHALL CONSIST OF GRANULAR FILL WITH USCS SOIL TYPES GP, GW, GM, GC, SP, SW, SM, SC OR CRUSHER RUN WITH A MINIMUM ANGLE OF FRICTION AS OUTLINED IN DESIGN PARAMETERS. ROCK FRAGMENTS SHALL BE LIMITED TO 5-INCHES IN DIAMETER OR LESS. THE FINE FRACTION (MINUS NO. 40 SIEVE) SHALL HAVE A MAXIMUM LIQUID LIMIT (LL) OF 40 AND A MAXIMUM PLASTICITY INDEX OF 15. THE BACKFILL SHALL BE FREE OF DEBRIS AND ORGANIC MATTER. REINFORCED FILL SHALL NOT CONTAIN FROZEN LUMPS, NOR SHALL IT BE PLACED OVER FROZEN MATERIALS. LOW PLASTICITY SILT OR CLAY (ML-CL) CAN BE USED SUBJECT TO APPROVAL BY GEOTECHNICAL ENGINEER. HIGHLY EXPANSIVE SOILS (CH-MH) OR ORGANIC TOPSOIL SHALL NOT BE USED IN REINFORCED FILL ZONE.
- REINFORCED BACKFILL SHALL BE PLACED IN 8-INCH (OR LESS) LIFTS AND COMPACTED TO A MINIMUM OF 95% OF THE OPTIMUM DRY DENSITY PER STANDARD PROCTOR TEST (ASTM D-698). COMPACTION TESTS SHALL BE PERFORMED AS THE WALL IS INSTALLED. COMPACTION WITHIN 3 FEET OF THE FACE BOULDERS SHALL BE LIMITED TO HAND-OPERATED EQUIPMENT. GEOGRID LAYERS OVERLAPPING AT CORNERS AND BENDS SHALL BE SEPARATED BY 3-4 INCHES OF SOIL.
- AT THE END OF EACH DAY, CONTRACTOR SHALL SLOPE SITE GRADES TO DIRECT SURFACE RUNOFF AWAY FROM THE WALL, INCLUDING PARTICULARLY THE REINFORCED ZONE, TO AVOID WATER DAMAGING THE WALL DURING CONSTRUCTION.
- ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER THE WALL IS COMPLETED.
- IF SITE AND SOIL CONDITIONS, WALL GEOMETRY OR WALL LOADING ARE DIFFERENT FROM THE DRAWINGS OR THE DESIGN PARAMETERS, THE TESTING AGENCY MUST NOTIFY THE CONTRACTOR, WHO MUST NOTIFY THE WALL DESIGN ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION OF THE WALL.

DESIGN PARAMETER ASSUMPTIONS:

INT. ANGLE OF FRICTION:	28°
COHESION, C:	0 PSF
MOIST DENSITY:	115 PSF
BACKFILL:	VARIES
EMBEDMENT:	VARIES

STACKED ROCK BOULDER RETAINING WALL

NOT TO SCALE

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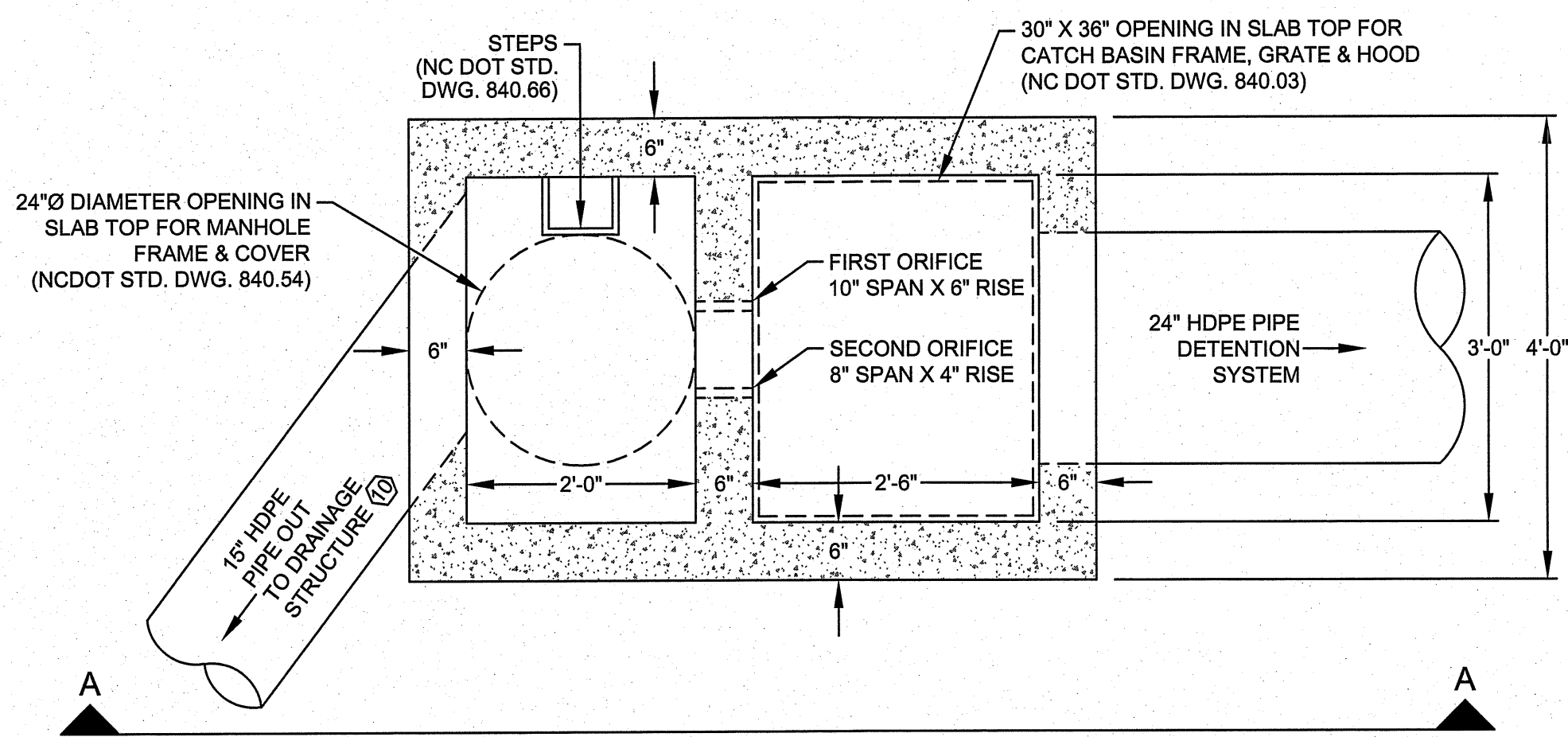


**COMMERCIAL REDEVELOPMENT
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8263 VALLEY BOULEVARD
BLOWING ROCK, NORTH CAROLINA

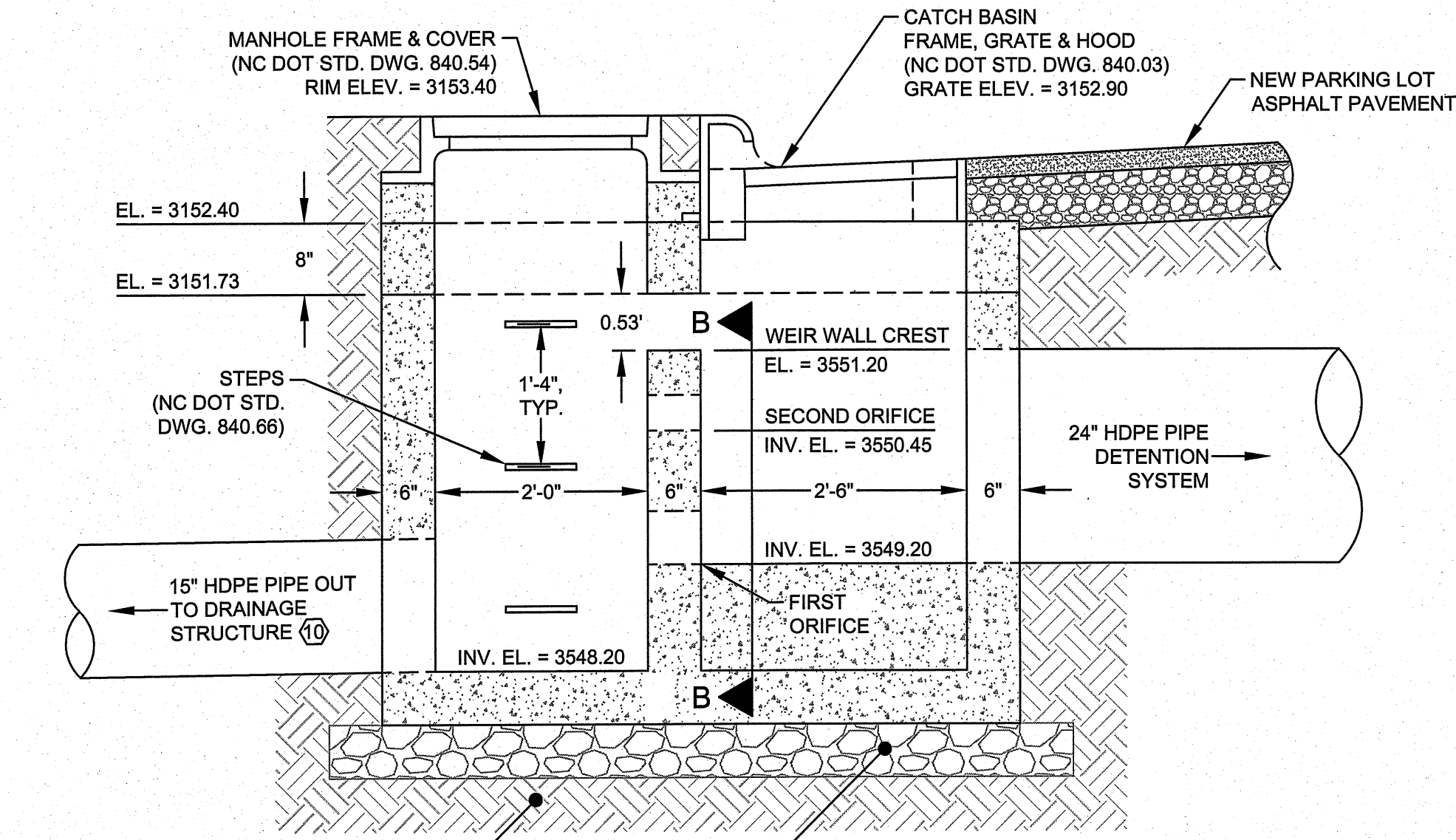
DATE	BY	REV.	DESCRIPTION

SITE DETAILS SHEET

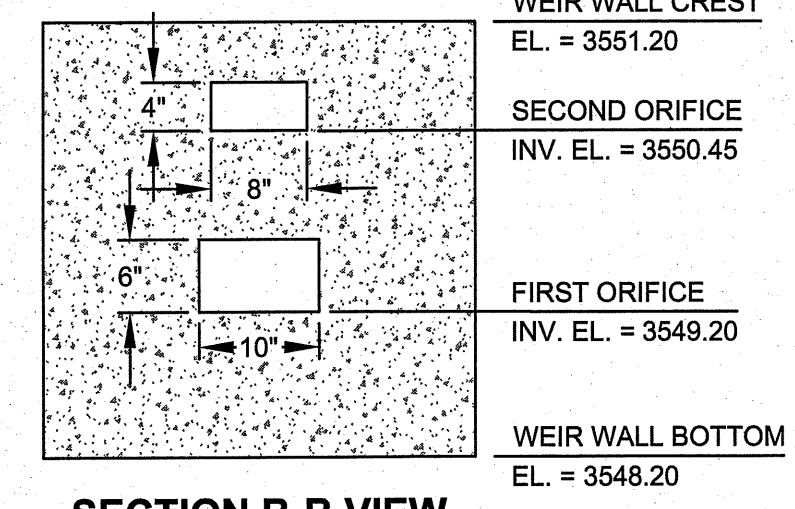
SCALE:	AS SHOWN
DATE:	1-19-22
DRWN. BY:	SGJ/EGT
CHKD. BY:	AJC
PROJECT NUMBER:	B21031
DRAWING NO.:	C-8
SHEET NO.:	8 OF 12



PLAN VIEW

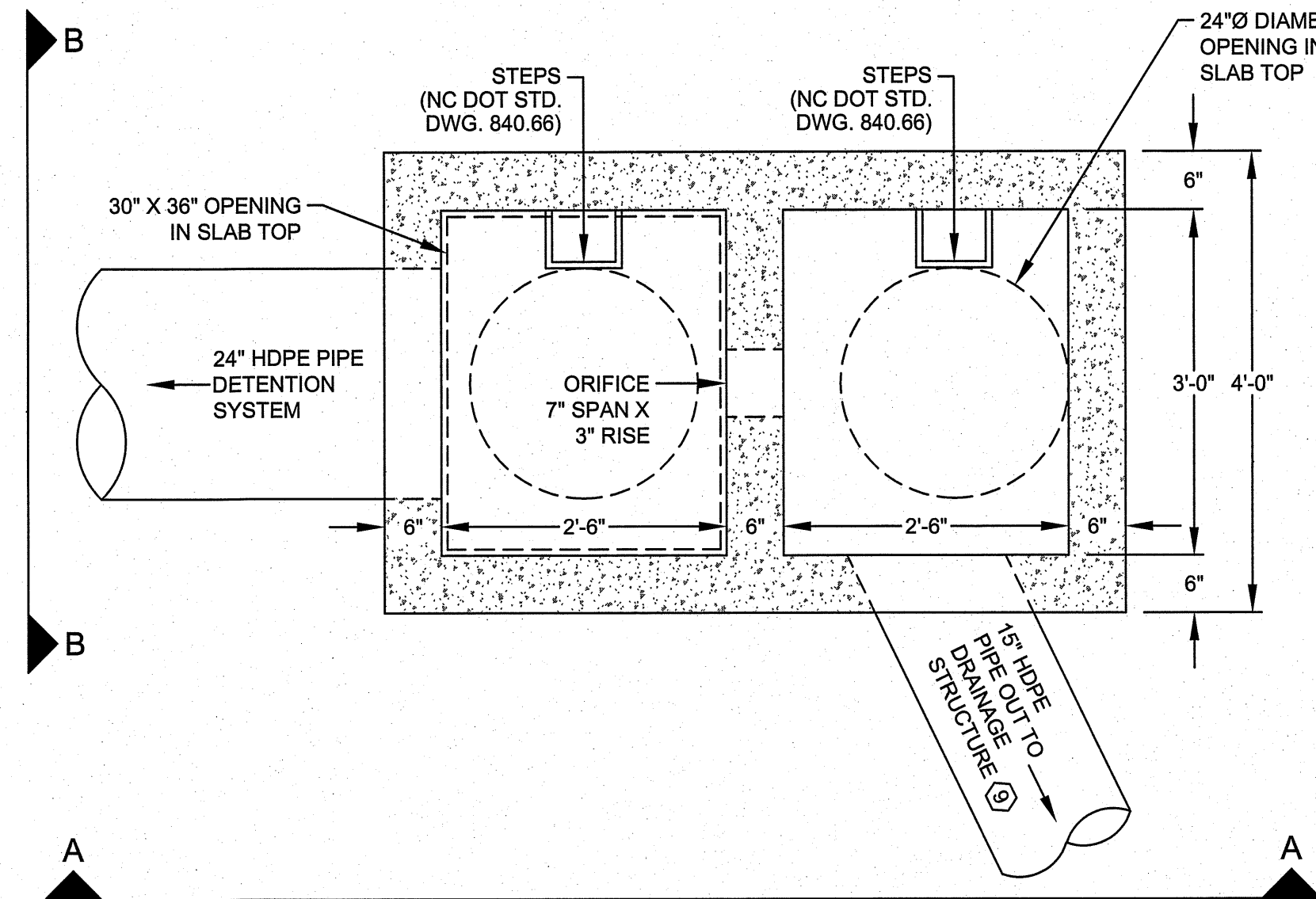


SECTION A-A VIEW

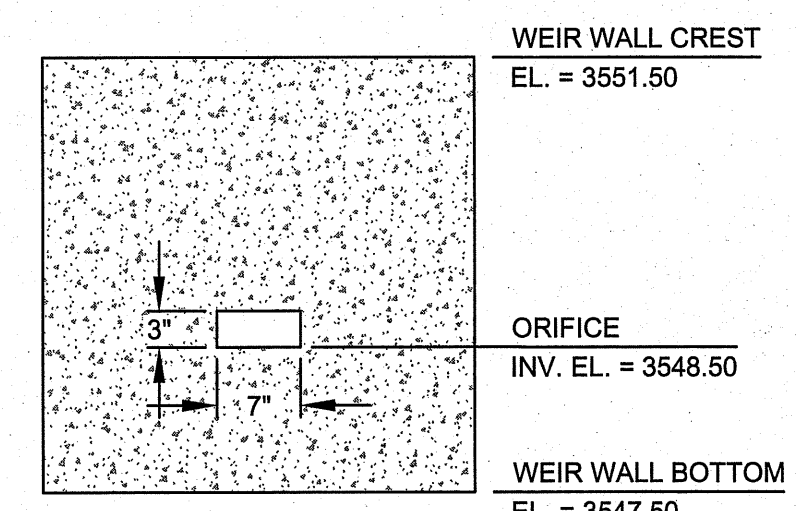


SECTION B-B VIEW

OUTLET CONTROL STRUCTURE 7
NOT TO SCALE

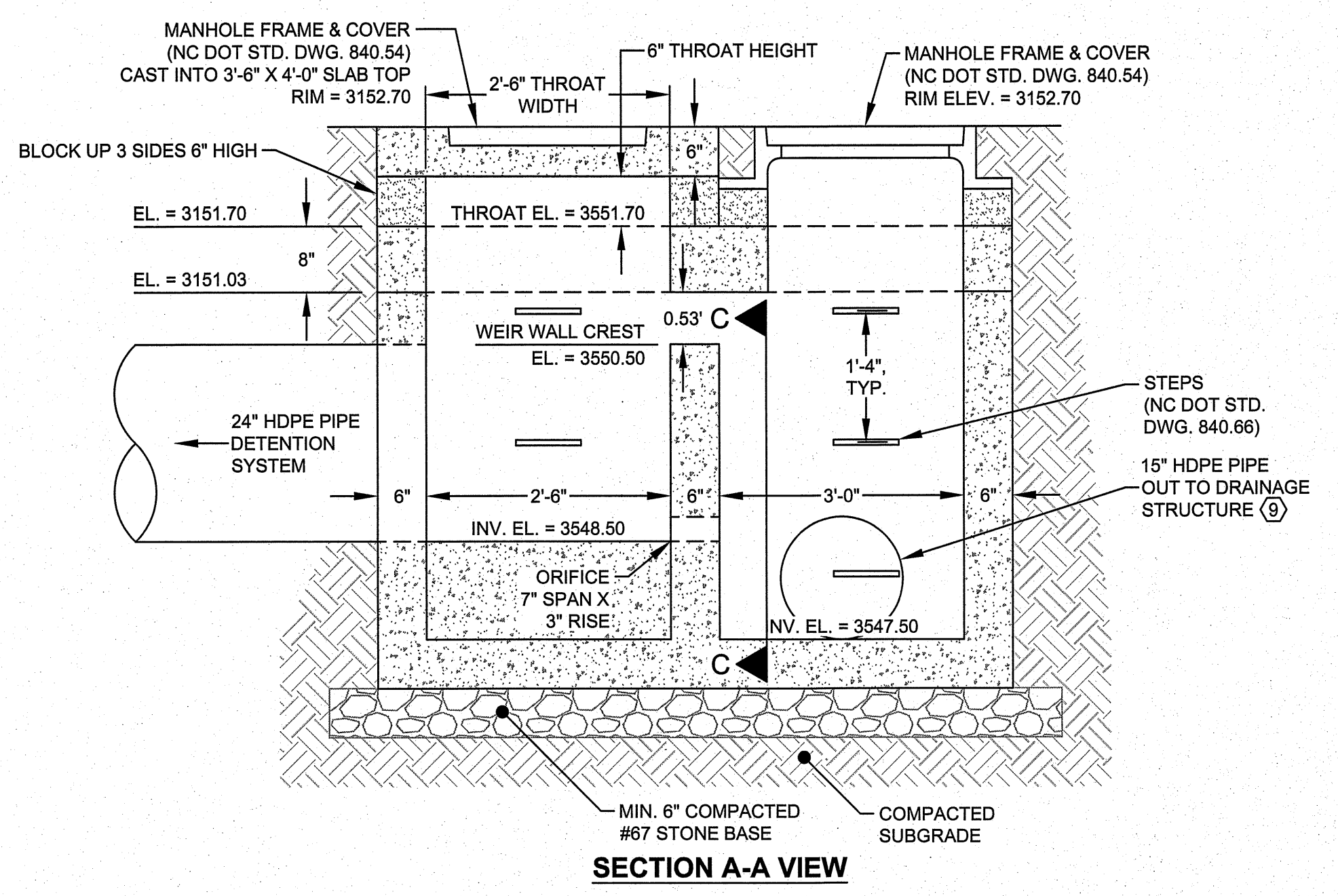


PLAN VIEW

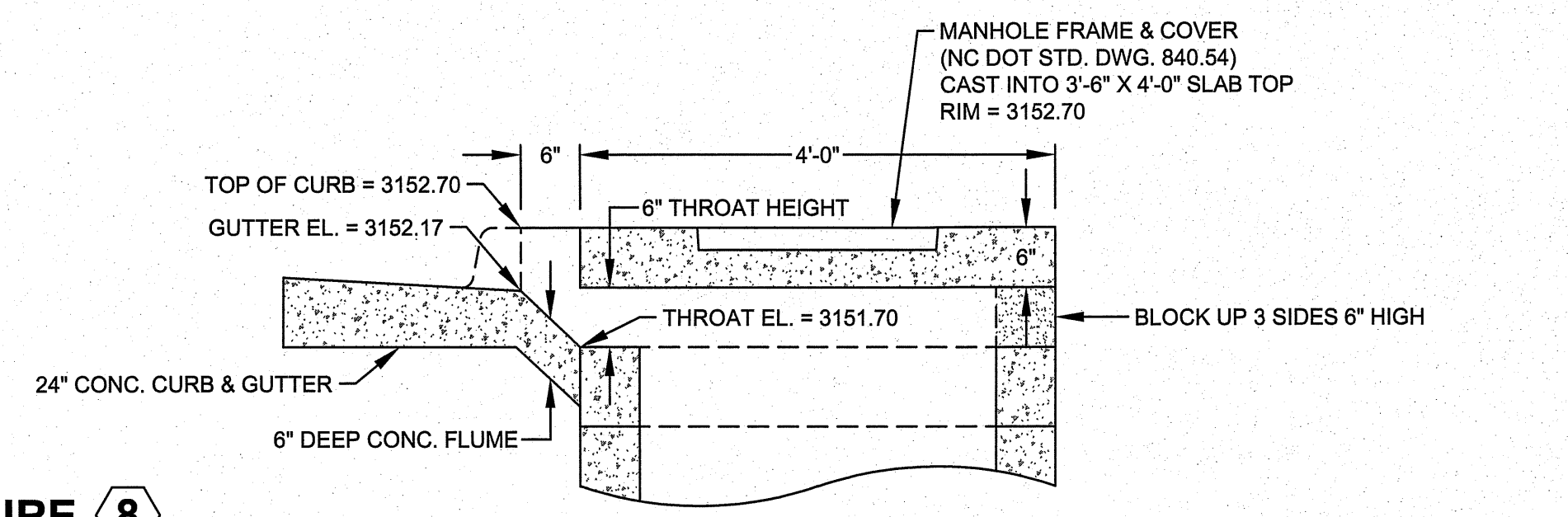


SECTION C-C VIEW

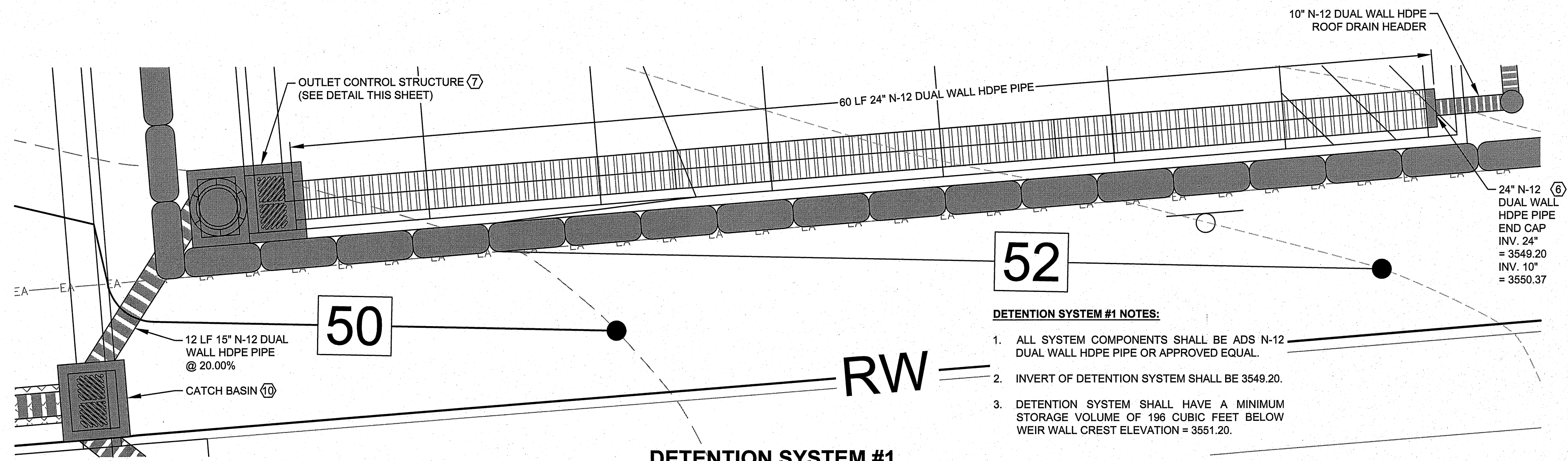
OUTLET CONTROL STRUCTURE 8
NOT TO SCALE



SECTION A-A VIEW

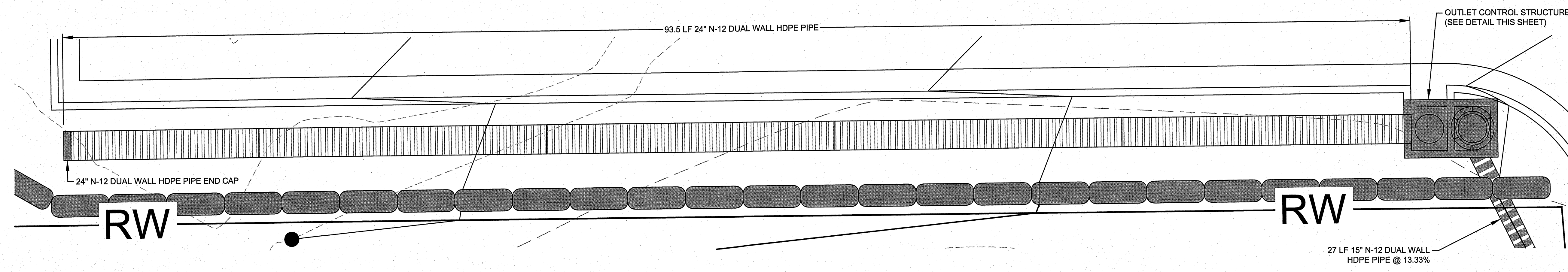


SECTION B-B VIEW



DETENTION SYSTEM #1
SCALE: 1\"/>

- DETENTION SYSTEM #1 NOTES:**
1. ALL SYSTEM COMPONENTS SHALL BE ADS N-12 DUAL WALL HDPE PIPE OR APPROVED EQUAL.
 2. INVERT OF DETENTION SYSTEM SHALL BE 3549.20.
 3. DETENTION SYSTEM SHALL HAVE A MINIMUM STORAGE VOLUME OF 196 CUBIC FEET BELOW WEIR WALL CREST ELEVATION = 3551.20.

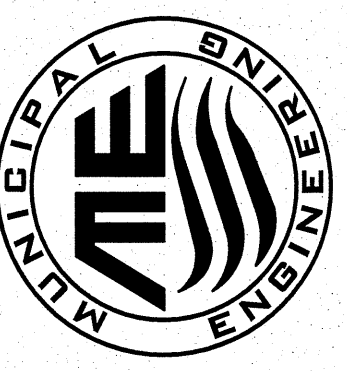


DETENTION SYSTEM #2
SCALE: 1\"/>

- DETENTION SYSTEM #2 NOTES:**
1. ALL SYSTEM COMPONENTS SHALL BE ADS N-12 DUAL WALL HDPE PIPE OR APPROVED EQUAL.
 2. INVERT OF DETENTION SYSTEM SHALL BE 3549.50.
 3. DETENTION SYSTEM SHALL HAVE A MINIMUM STORAGE VOLUME OF 302 CUBIC FEET BELOW WEIR WALL CREST ELEVATION = 3551.50.

PRELIMINARY
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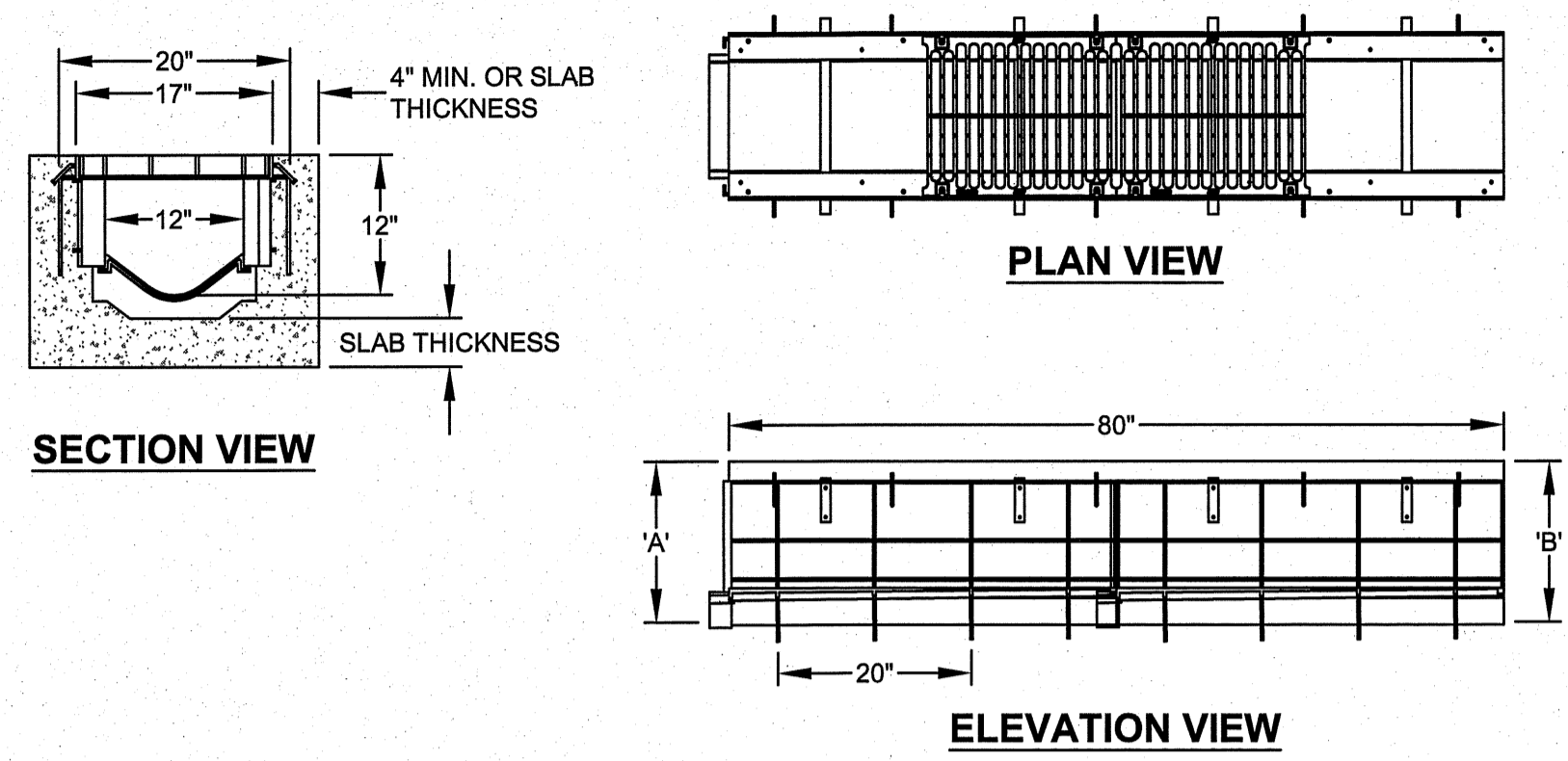
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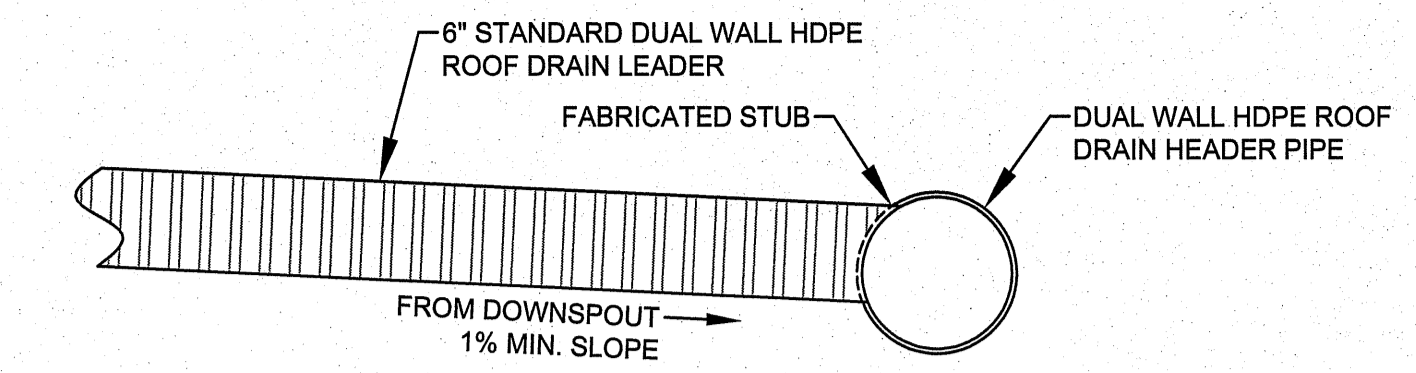
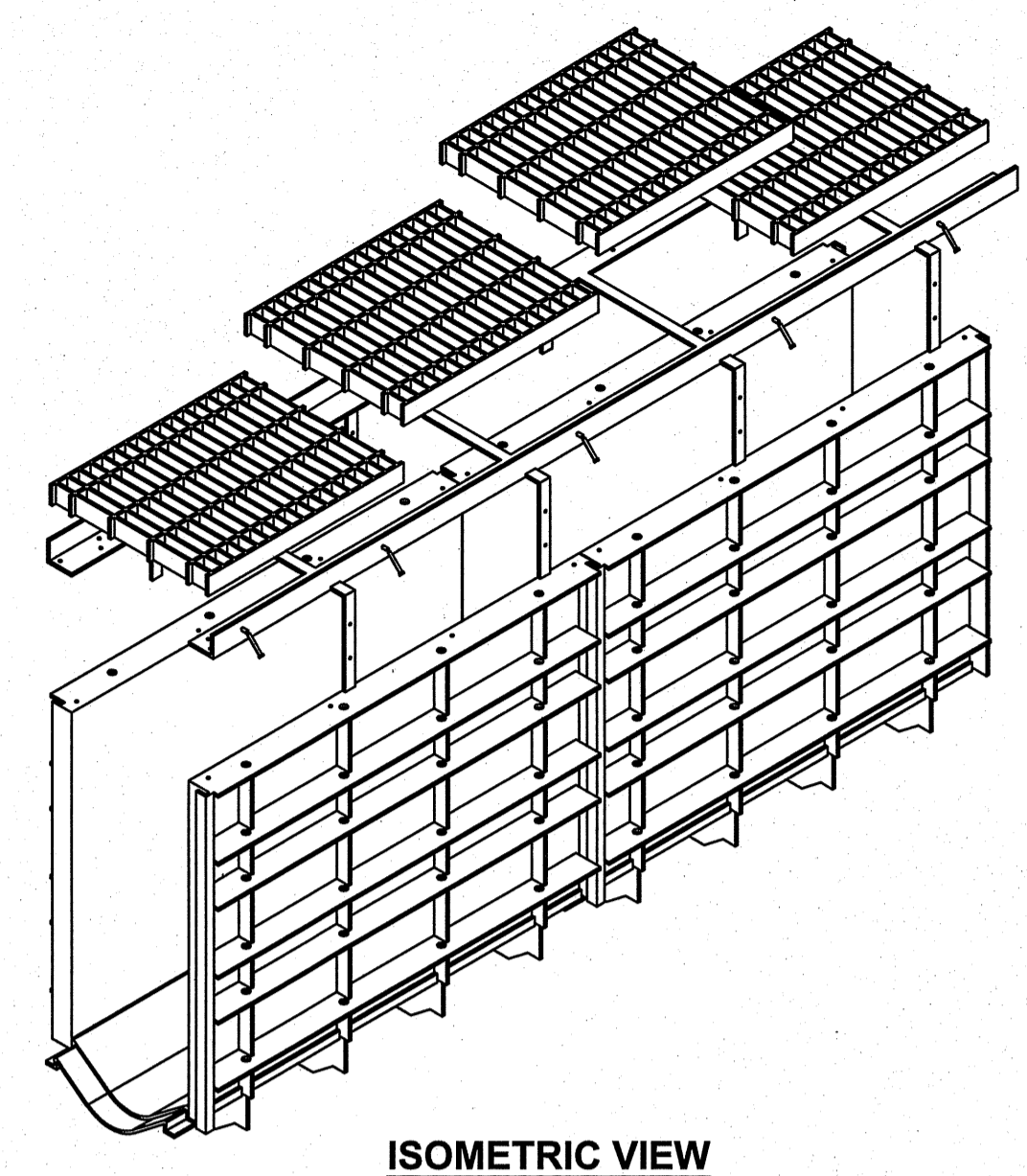
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8263 VALLEY BOULEVARD
BLOWING ROCK, NORTH CAROLINA

DATE	REV.	DESCRIPTION

SCALE: AS SHOWN
DATE: 1-19-22
DRWN. BY: SGJ
CHKD. BY: AJC/MPT
PROJECT NUMBER: B21031
DRAWING NO. C-9 SHEET NO. 9 OF 12

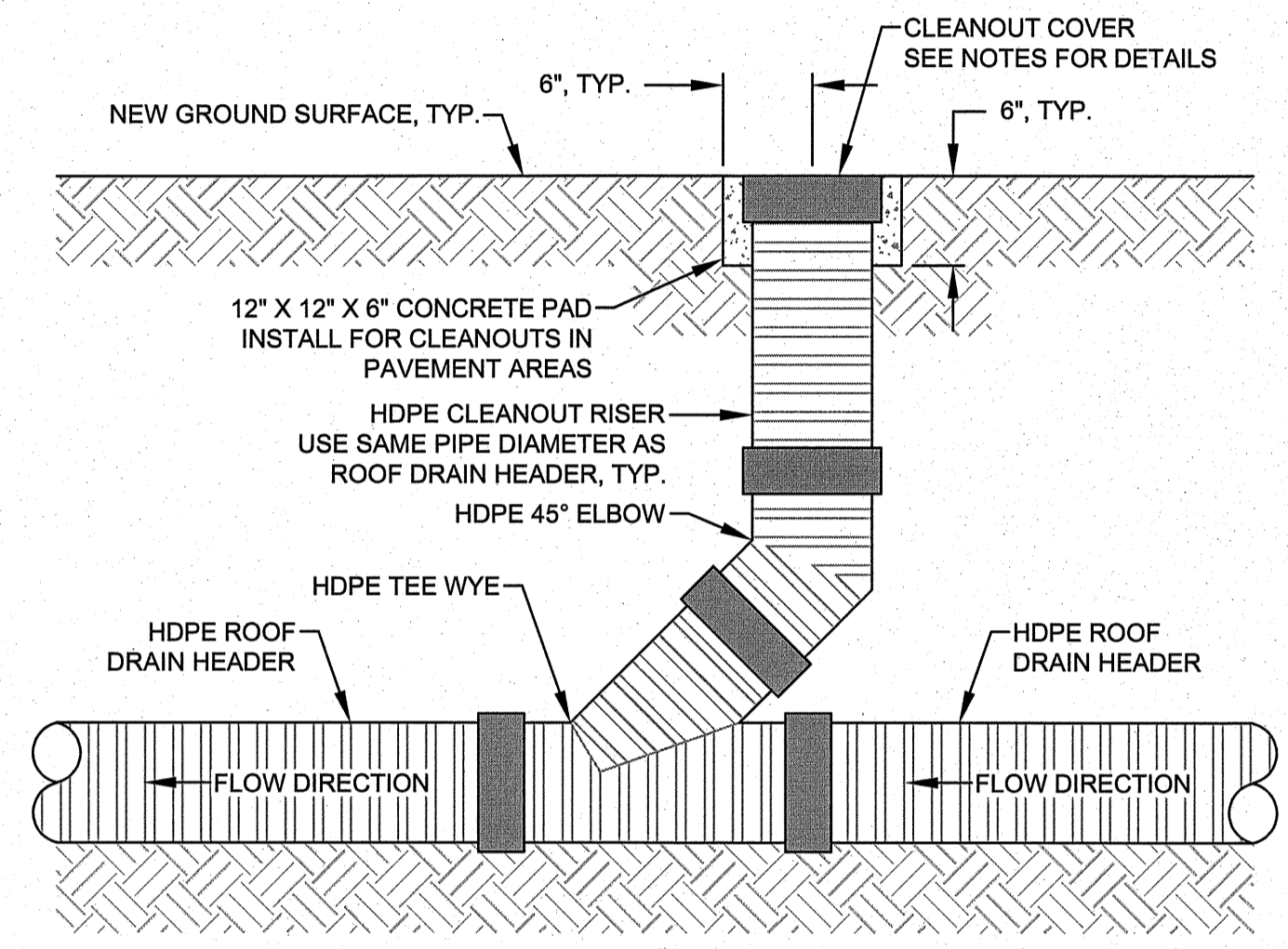


- NOTES:**
1. SPECIFYING ENGINEER IS RESPONSIBLE FOR CONCRETE ENCASEMENT AND REINFORCING BASED UPON APPLICATION AND LOCAL CODES.
 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW & APPROVAL BY ENGINEER OF RECORD PRIOR TO ORDERING.



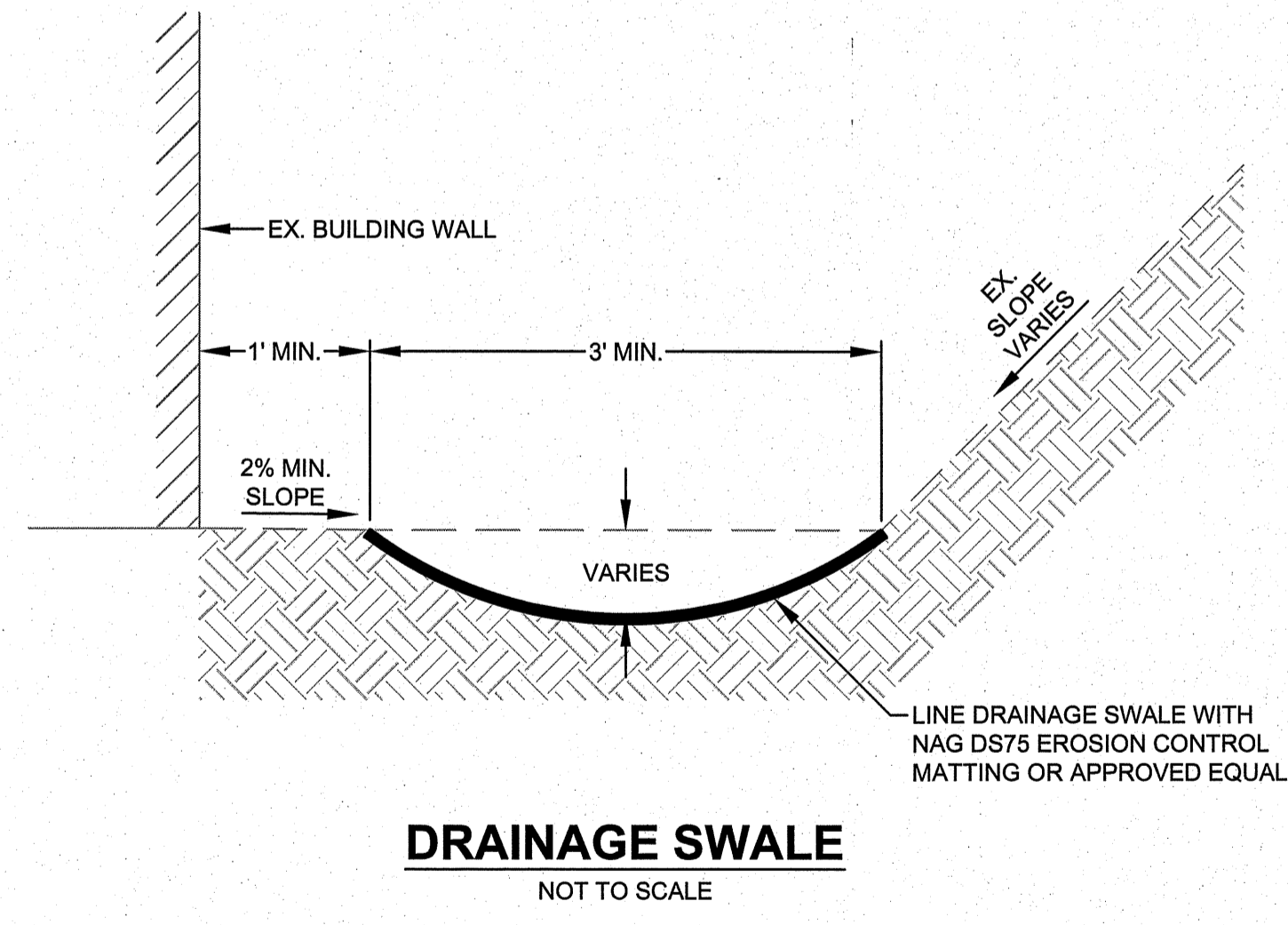
- NOTES:**
1. INSTALL 6" STANDARD HDPE FABRICATED STUB AS CLOSE AS POSSIBLE TO TOP OF ROOF DRAIN HEADER.
 2. 6" ROOF DRAIN LEADERS FROM DOWNSPOUTS TO ROOF DRAIN HEADER SHALL MAINTAIN MINIMUM 1% PIPE SLOPE.
 3. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT LOCATIONS.

ROOF DRAIN CONNECTION TO HEADER SYSTEM
NOT TO SCALE



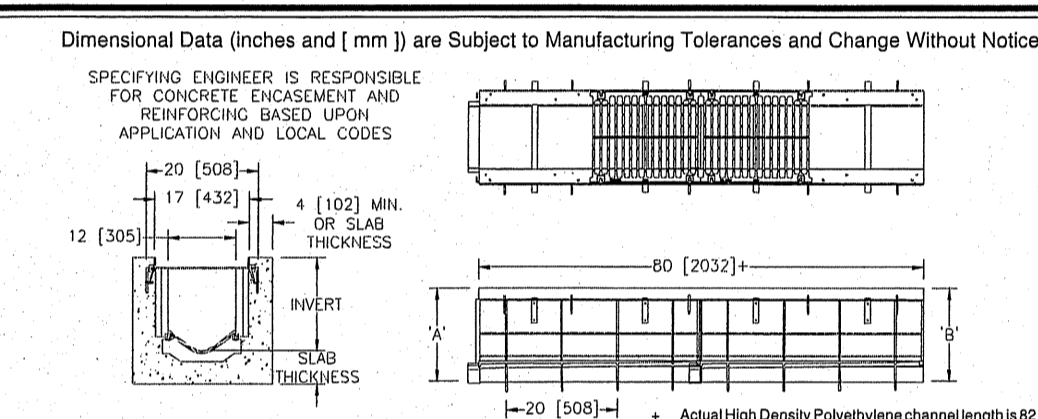
- NOTES:**
1. CLEANOUTS IN NON-PAVEMENT AREAS SHALL HAVE COVER WITH REMOVABLE PVC THREADED PLUG.
 2. CLEANOUTS IN PAVEMENT AREAS SHALL HAVE CAST IRON RING AND COVER OR OTHER APPROVED PROTECTIVE DEVICE, THAT IS TRAFFIC RATED.
 3. CONCRETE FOR CLEANOUT COVER PAD IN PAVEMENT AREAS SHALL BE 3,000 PSI MINIMUM.

HDPE ROOF DRAIN HEADER CLEANOUT DETAIL
NOT TO SCALE



DRAINAGE SWALE
NOT TO SCALE

ZURN **Z874-12** **SPECIFICATION SHEET**
12 [305] WIDE THROAT TRENCH DRAIN SYSTEM TAG



ENGINEERING SPECIFICATION: Zurn Z874-12 Channels shall be 80" [2032mm] long, 17" [432mm] wide reveal and have a 12" [305mm] wide throat. Modular channel sections shall be made of 0% water absorbent High Density Polyethylene (HDPE). Shall have a positive mechanical connection between channel sections that will not separate during the installation and shall mechanically lock into the concrete surround every 10" [254mm]. Channels shall weigh less than 6.5 lbs. per linear foot (9.8 kg/m), have smooth 3.5" [89mm] radiused self cleaning bottom with a Manning's coefficient of .009 and 1.00% or neutral 0% built-in slope. Channels are available with inverts ranging from 8.25" [210mm] to 34.21" [869mm]. Channels shall have all grates locked down. Channels come with clips attached to the frame to accommodate vertical re-bar for positioning and anchoring purposes. Shall be provided with the standard DGC grate, Zurn 16-1/4" [413mm] wide Ductile Iron Slotted Grate, which locks down to the frame with 4 individual bolt anchors per grate. Ductile iron conforms to ASTM specification A536-84, Grade 80-55-06. Ductile iron grate is rated class C per the DIN EN1433 top load classifications. Supplied in 20' [608 mm] nominal lengths with 15/16" [24 mm] wide slots, and 1-3/4" [44mm] bearing depth. Grate has an open area of 118 sq. in. per ft. [249779] sq. mm per meter. This 1/4" [6mm] thick Carbon Steel Frame Assembly conforms to ASTM specification A36 with 10-4" [102mm] long concrete anchors per 80" [2032mm]. The frame is supplied with a powder coated finish. All welds must be performed by a certified welder per ASTM standard AWS D1.1. Frames shall be produced in the USA.

PREFIX
X Z 80 [2032] High Density Polyethylene Channel, Heavy-Duty Frame with Anchor Studs

SUFFIX OPTIONS (Check/specify appropriate options)
Adapters
-E1 Closed End Cap -U4 4 [102] No-Hub Bottom Outlet
-E4 4 [102] No-Hub End Outlet -U6 6 [152] No-Hub Bottom Outlet
-E6 6 [152] No-Hub End Outlet -U8 8 [203] No-Hub Bottom Outlet
-E8 8 [203] No-Hub End Outlet -U12 12 [305] No-Hub Bottom Outlet
-E10 10 [254] No-Hub End Outlet

Grate Options (Load Classifications are per DIN EN1433)
-BDC Black Acid Ductile Iron Slotted Grate - Class C
-BDF Black Acid Ductile Iron Slotted Grate - Class F
-DCC Ductile Iron Solid Cover - Class C
-DCF Ductile Iron Solid Cover - Class F
-DGC Ductile Iron Slotted Grate - Class C
-DGF Ductile Iron Slotted Grate - Class F
-GDC Galvanized Ductile Iron Grate - Class C
-GDF Galvanized Ductile Iron Grate - Class F
-GG Fiberglass Grate
-GPD Galvanized Heel-Proof Longitudinal Ductile Iron Grate - Class C
-HPD Heel-Proof Longitudinal Ductile Iron Grate - Class C
-SBG Stainless Steel Bar Grate - Class C

MADE IN THE U.S.A. (Load Classifications are per DIN EN1433)
-ADA-USA Meets Americans with Disabilities Act Requirements - Class C
-DGC-USA Ductile Iron Slotted Grate - Class C
-DGF-USA Ductile Iron Slotted Grate - Class F
-GAD-USA Galvanized Ductile ADA Slotted Grate - Class C
-GDC-USA Galvanized Ductile Slotted Grate - Class C
-GDF-USA Galvanized Ductile Slotted Grate - Class F

Miscellaneous Options
-JC Rebar Clips (Set of 2)
-VP Vandal-Proof Lockdown

MADE IN THE U.S.A. Miscellaneous Options
-CB Black Acid Resistant Coated Frame
-DB Bottom Dome Strainer
-HDS Type 304 Stainless Steel Top Frame

* Regularly furnished unless otherwise specified.

Zurn Industries, LLC | Specification Drainage Operation
1801 Pittsburgh Avenue, Erie, PA, U.S.A. 16502 - Ph. 855-663-9876, Fax 814-454-7929
In Canada | Zurn Industries Limited
3544 Nashua Drive, Mississauga, Ontario L4V 1L2 - Ph. 905-405-8272, Fax 905-405-1292
www.zurn.com

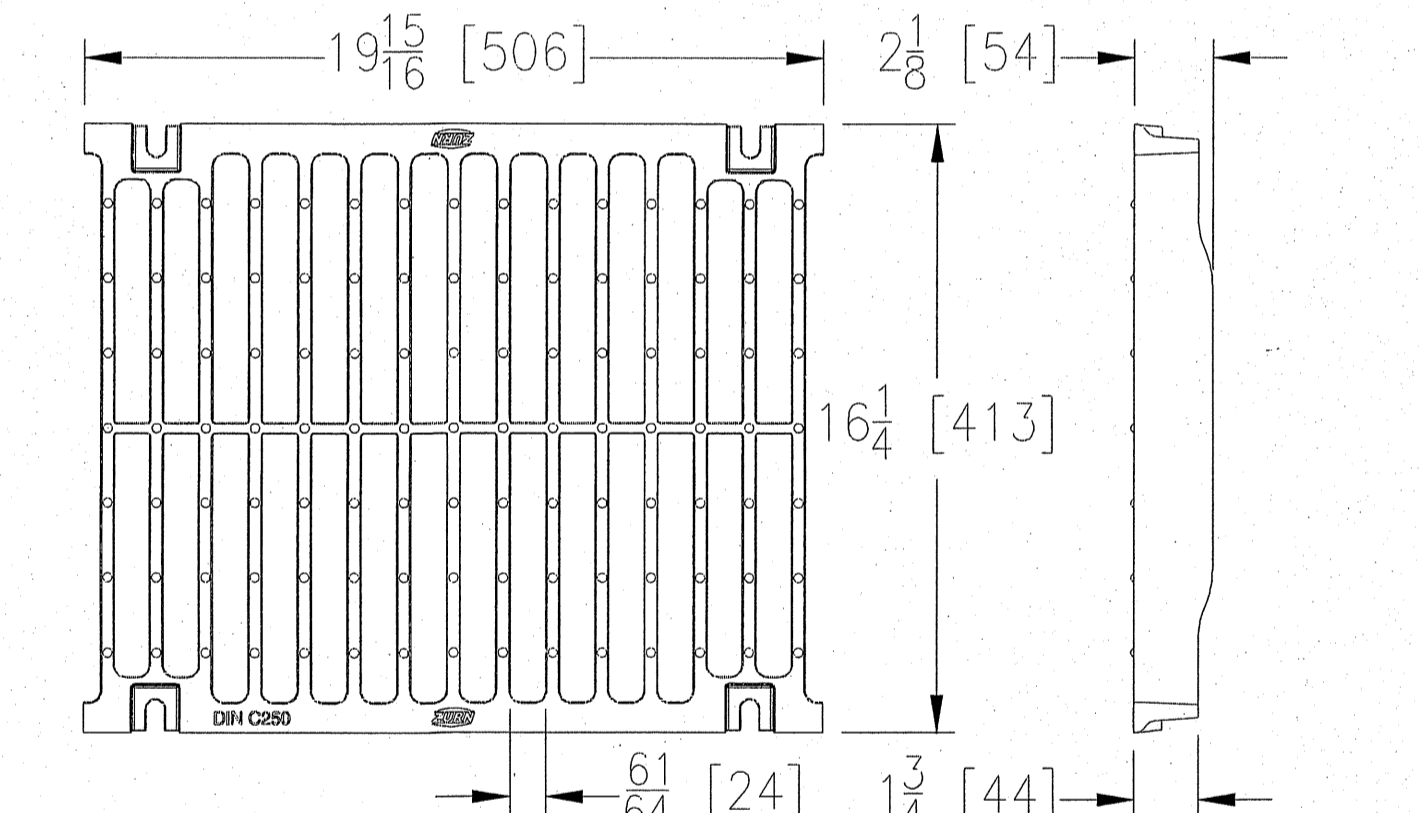
Rev. T
Date: 10/26/2017
C.N. No. 1390986
Prod. | Dwg. No. Z874-12

ZURN **P874-12-DGC-USA**
12[305] Wide Throat Domestic Grate

Dimensional Data (inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice

Please Check	Item No.	Part Number	Item I.D.
✓	5	67599	P874-12-DGC-USA

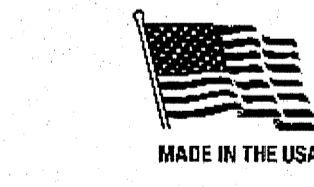
Back to Index



DGC-USA GRATE ENGINEERING SPECIFICATION: The Zurn P874-12-DGC-USA Slotted Grate, Ductile Iron, is 16-1/4" [413mm] wide by 19-1/16" [506mm] inches long, weighing 28 lbs per linear foot [41.4 kg/m]. The grate has an open area of 118 square inches per linear foot [2497 cm²/m], DIN Rating of C, ANSI Rating of Heavy-Duty, H-20 Load Rated. Ductile Iron Conforms to ASTM Specification A536, Grade 80-55-06.

DGC-USA - Domestic Ductile Iron

Material: Ductile Iron
DIN Rating: Class C
Weight: 28 lbs/ft. [41.4 kg/m]
Open Area: 118 in²/ft. [2497 cm²/m]
ANSI Rating: Heavy-Duty
Application: Vehicle & Truck
Slot Width/Hole Size: 61/64" [24 mm]
ADA: No
H-20: Yes
FAA: No



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1801 Pittsburgh Avenue, Erie, PA, U.S.A. 16502 - Ph. 855-663-9876, Fax 814-454-7929
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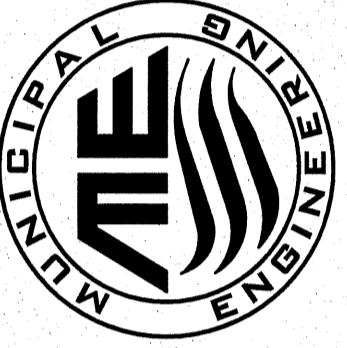
Rev. H
Date: 05/07/15
C.N. No. 132632
Form No. FT797

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TRENCH DRAIN
NOT TO SCALE

PRELIMINARY
FOR REGULATORY REVIEW ONLY

MUNICIPAL ENGINEERING, INC.
68 SHIPWASH DRIVE, GARNER, NC 27529 - PHONE: 919-772-5393
820-B STATE FARM ROAD, BOONE, NC 28607 - PHONE: 828-262-1767
LICENSE NUMBER: F-0812



**COMMERCIAL REDEVELOPMENT
SPECIAL US PERMIT**
8263 VALLEY BOULEVARD
BLOWING ROCK, NORTH CAROLINA

STORMWATER DRAINAGE
DETAILS SHEET 2

DATE	BY	REV.	DESCRIPTION

SCALE: AS SHOWN
DATE: 1-19-22
DRWN. BY: EGT
CHKD. BY: AJC/MPT
PROJECT NUMBER
B21031
DRAWING NO. C-10 SHEET NO. 10 OF 12

CUT SLOPE ROUGHENING FOR AREAS NOT TO BE MOWED

STAIR-STEP GRADE OR GROOVE CUT SLOPES WITH A GRADIENT STEEPER THAN 3:1.
USE STAIR-STEP GRADING ON ANY ERODIBLE MATERIAL SOFT ENOUGH TO BE RIPPED WITH A BULLDOZER. SLOPES CONSISTING OF SOFT ROCK WITH SOME SUBSOIL ARE PARTICULARLY SUITED TO STAIR-STEP GRADING.
MAKE THE VERTICAL CUT DISTANCE LESS THAN THE HORIZONTAL DISTANCE, & SLIGHTLY SLOPE THE HORIZONTAL POSITION OF THE "STEP" IN TOWARD THE VERTICAL WALL.
DO NOT MAKE INDIVIDUAL VERTICAL CUTS MORE THAN 2 FEET IN SOFT MATERIALS OR MORE THAN 3 FEET IN ROCKY MATERIALS.
GROOVING USES MACHINERY TO CREATE A SERIES OF RIDGES & DEPRESSIONS THAT RUN ACROSS THE SLOPE (ON THE CONTOUR). GROOVE USING ANY APPROPRIATE IMPLEMENT THAT CAN BE SAFELY OPERATED ON THE SLOPE, SUCH AS DISKS, TILLERS, SPRING HARROWS, OR THE TEETH ON A FRONT END LOADER BUCKET. DO NOT MAKE SUCH GROOVES LESS THAN 3 INCHES DEEP NOR MORE THAN 15 INCHES APART.

FILL SLOPE AREAS NOT TO BE MOWED

PLACE FILL SLOPES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 9 INCHES, & MAKE SURE EACH LIFT IS PROPERLY COMPACTED. ENSURE THAT THE FACE OF THE SLOPE CONSISTS OF LOOSE, UNCOMPACTED FILL 4-6 INCHES DEEP. USE GROOVING AS DESCRIBED ABOVE, TO ROUGHEN THE FACE OF THE SLOPES, IF NECESSARY.
DO NOT BLADE OR SCRAPE THE FINAL SLOPE FACE.

CUTS FILLS & GRADED AREAS THAT WILL BE MOWED

MAKE MOWED SLOPES NO STEEPER THAN 3:1.
ROUGHEN THESE AREAS TO SHALLOW GROOVES BY NORMAL TILLING, DISKING, HARROWING, OR USE OF CULTIPACK-SEEDER. MAKE THE FINAL PASS OF ANY SUCH TILLAGE IMPLEMENT ON THE CONTOUR.
MAKE GROOVES, FORMED BY SUCH IMPLEMENTS, CLOSE TOGETHER (LESS THAN 10 INCHES) & NOT LESS THAN 1 INCH DEEP.
EXCESSIVE ROUGHNESS IS UNDESIRABLE WHEN MOWING IS PLANNED.

ROUGHENING WITH TRACKED MACHINERY

LIMIT ROUGHENING WITH TRACKED MACHINERY TO SANDY SOILS TO AVOID UNDUDE COMPACTION OF THE SOIL SURFACE. TRACKING IS GENERALLY NOT AS EFFECTIVE AS THE OTHER ROUGHENING METHODS DESCRIBED.
OPERATE TRACKED MACHINERY UP & DOWN THE SLOPE TO LEAVE HORIZONTAL DEPRESSIONS IN THE SOIL. DO NOT BACK-BLADE DURING THE FINAL GRADING OPERATION.

COMPLETE SEEDBED PREPARATION BY BREAKING UP LARGE CLOUDS & RAKING INTO A SMOOTH, UNIFORM SURFACE (SLOPES LESS THAN 3:1). FILL IN OR LEVEL DEPRESSIONS THAT CAN COLLECT WATER. BROADCAST SEED INTO A FRESHLY LOOSEENED SEEDBED THAT HAS NOT BEEN SEALED BY RAINFALL.

SURFACE ROUGHENING

SEEDBED PREPARATION

1. IF RECENT TILLAGE OPERATIONS HAVE RESULTED IN A LOOSE SURFACE, ADDITIONAL SURFACE ROUGHENING MAY NOT BE REQUIRED, EXCEPT TO BREAK UP LARGE CLOUDS. IF RAINFALL CAUSES THE SURFACE TO BECOME SEALED OR CRUSTED, LOOSEN IT JUST PRIOR TO SEEDING BY DISKING, RAKING, HARROWING, OR OTHER SUITABLE METHODS. GROOVE OR FURROW SLOPES STEEPER THAN 3:1 ON THE CONTOUR BEFORE SEEDING. SEE OTHER REQUIREMENTS FOR SURFACE ROUGHENING ON THIS SHEET.
2. SOIL SURFACE SHALL BE WELL PULVERIZED, LOOSE AND UNIFORM.

SEEDING DATES

LATE WINTER & EARLY SPRING (FEB. 15 - MAY 15)

SPECIES RATE (LB/ACRE)

RYE (GRAIN) 120
AND
KOREAN LESPEDEZA 50

OMIT LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT EXTENDED BEYOND JUNE 15.

SUMMER (MAY 15 - AUGUST 15)

SPECIES RATE (LB/ACRE)

GERMAN MILLET 40
OR
TALL FESCUE 50

FALL (AUGUST 15 - DECEMBER 15)

SPECIES RATE (LB/ACRE)

RYE (GRAIN) 120

SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TEST OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER. INCREASE FERTILIZER RATE TO 1000 LB/ACRE IN THE FALL.

MULCH

APPLY 4,000-5,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS MULCH ANCHORING TOOL.

MAINTENANCE

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOREAN LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

TEMPORARY SEEDING SCHEDULE

SOIL TESTS

LIME AND FERTILIZER NEEDS SHOULD BE DETERMINED BY SOIL TESTS. SOIL TESTING IS PERFORMED FREE OF CHARGE BY THE NC DEPT. OF AGRICULTURE. SOIL TESTING LABORATORY DIRECTIONS, SAMPLE CARTRONS, AND INFORMATION ARE AVAILABLE THROUGH COUNTY AGRICULTURAL EXTENSION OFFICES OR FROM NCDA. BECAUSE THE NCDA SOIL TESTING LAB REQUIRES 1-6 WEEKS FOR SAMPLE TURN-AROUND, SAMPLING MUST BE PLANNED WELL IN ADVANCE OF FINAL GRADING. TESTING IS ALSO DONE BY COMMERCIAL LABORATORIES.

SEEDBED PREPARATION

1. ROUGHEN SURFACES IN ACCORDANCE WITH THE NOTES ON SURFACE ROUGHENING ON THIS SHEET.
2. BREAK UP LARGE CLOUDS AND RAKING INTO A SMOOTH, UNIFORM SURFACE (SLOPES LESS THAN 3:1). FILL IN OR LEVEL DEPRESSIONS THAT CAN COLLECT WATER. BROADCAST SEED INTO A FRESHLY LOOSEENED SEEDBED THAT HAS NOT BEEN SEALED BY RAINFALL.

SEEDING MIXTURE

SPECIES RATE (LB/ACRE)

TALL FESCUE 100
KOREAN LESPEDEZA 10
KENTUCKY BLUEGRASS 5
REDTOP 5
BUFFALO GRASS 1

SEEDING NOTE

1. WHERE APPEARANCE IS A CONSIDERATION, INCREASE KOREAN LESPEDEZA TO 40 LB/ACRE.

NURSE PLANTS

BETWEEN MAY 1 AND AUGUST 15 ADD 10 LB/ACRE GERMAN MILLET OR 15 LB/ACRE TALL FESCUE. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE (GRAIN). IT MAY BE BENEFICIAL TO PLANT THE GRASSES IN LATE SUMMER AND OVERSEED THE LESPEDEZA IN MARCH.

SEEDING DATES

BEST POSSIBLE

BELOW 2500 FT: AUG. 15 - SEPT. 1 JULY 25 - SEPT. 15
MAR. 1 - APR. 1 MAR. 1 - MAY 10

ABOVE 2500 FT: JULY 25 - AUG. 15 JULY 15 - AUG. 30
MAR. 20 - APR. 20 MAR. 5 - MAY 15

COMPLETE SEEDING EARLIER IN FALL, AND START LATER IN SPRING ON NORTH AND EAST FACING SLOPES.

SOIL AMENDMENTS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS. IF SOIL TESTS ARE NOT AVAILABLE, APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 5-10-10 FERTILIZER.

MULCH

APPLY 4,000 - 5,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR ROVING. NETTING IS THE PREFERRED ANCHORING METHOD ON STEEP SLOPES.

MAINTENANCE

REFERTILIZE THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MOW NO MORE THAN ONCE PER YEAR. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

PERMANENT SEEDING SCHEDULE

APPLY TOP DRESSING 6 MONTHS AFTER INITIAL SEEDING. TOP DRESSING TO CONSIST OF THE FOLLOWING:

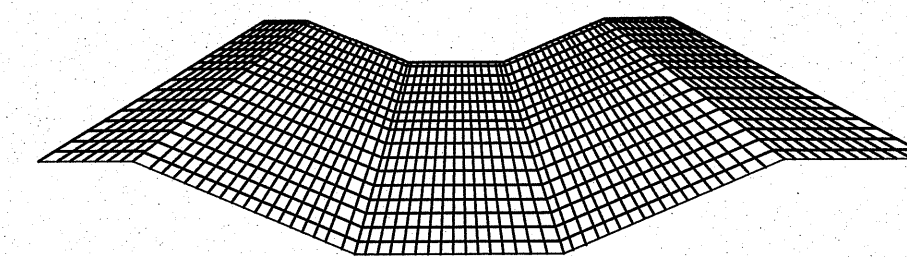
RE-APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS. IF SOIL TESTS ARE NOT AVAILABLE, APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 5-10-10 FERTILIZER.

APPLY 1/2" COMPOST OR TOP SOIL TO ANY BARE SPOTS.

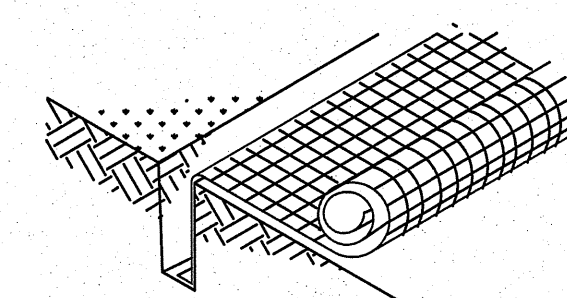
RE-APPLY SEED MIX TO ANY BARE OR THIN SPOTS PER THE PERMANENT SEEDING SCHEDULE OR PERMANENT FLOODPLAIN SEED MIX SPECIFICATIONS AS APPROPRIATE FOR THE AREA.

RE-MULCH BARE SPOTS THAT HAVE BEEN RE-SEALED.

TOP DRESSING SPECIFICATIONS



IN CHANNELS, ROLL OUT STRIPS OF NETTING PARALLEL TO THE DIRECTION OF FLOW AND OVER THE PROTECTIVE MULCH.



ANCHOR NETTING IN A 6 INCH TRENCH. JOIN STRIPS BY ANCHORING AND OVERLAPPING.

INSTALLATION OF NETTING AND MATTING

PRODUCTS DESIGNED TO CONTROL EROSION SHOULD BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. ANY MAT OR BLANKET-TYPE PRODUCT USED AS A PROTECTIVE MULCH SHOULD PROVIDE COVER OF AT LEAST 30% OF THE SURFACE WHERE IT IS APPLIED. INSTALLATION IS ILLUSTRATED ABOVE.

1. APPLY LIME, FERTILIZER AND SEED BEFORE LAYING THE NET OR MATT. IF OPEN-WEAVE NETTING IS USED, LIME MAY BE INCORPORATED BEFORE INSTALLING THE NET AND FERTILIZER AND SEED SPRAYED ON AFTERWARD.

2. START LAYING THE NET FROM THE TOP OF THE CHANNEL OR SLOPE AND UNROLL IT DOWN THE GRADE. ALLOW NETTING TO LAY LOOSELY ON THE SOIL BUT WITHOUT WRINKLES-DO NOT STRETCH.

3. TO SECURE THE NET, BURY THE UPSLOPE END IN A SLOT OR TRENCH NO LESS THAN 6 INCHES DEEP, COVER WITH SOIL, AND TAMP FIRMLY. STAPLE THE NET EVERY 12 INCHES ACROSS THE TOP END AND EVERY 3 FEET AROUND THE EDGES AND BOTTOM. WHERE 2 STRIPS OF NET ARE LAID SIDE BY SIDE, THE ADJACENT EDGES SHOULD BE OVERLAPPED 3 INCHES AND STAPLED TOGETHER. EACH STRIP OF NETTING SHOULD ALSO BE STAPLED DOWN THE CENTER, EVERY THREE FEET. DO NOT STRETCH THE NET WHEN APPLYING STAPLES.

4. TO JOIN TWO STRIPS, CUT A TRENCH TO ANCHOR THE END OF THE NEW NET. OVERLAP THE END OF THE PREVIOUS ROLL 18 INCHES, AS SHOWN ABOVE, AND STAPLE EVERY 12 INCHES JUST BELOW THE ANCHOR SLOT.

MAINTENANCE REQUIREMENTS:

1. INSPECT ROLLED EROSION CONTROL PRODUCTS AT LEAST ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 1 INCH OR GREATER IN 24 HOURS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

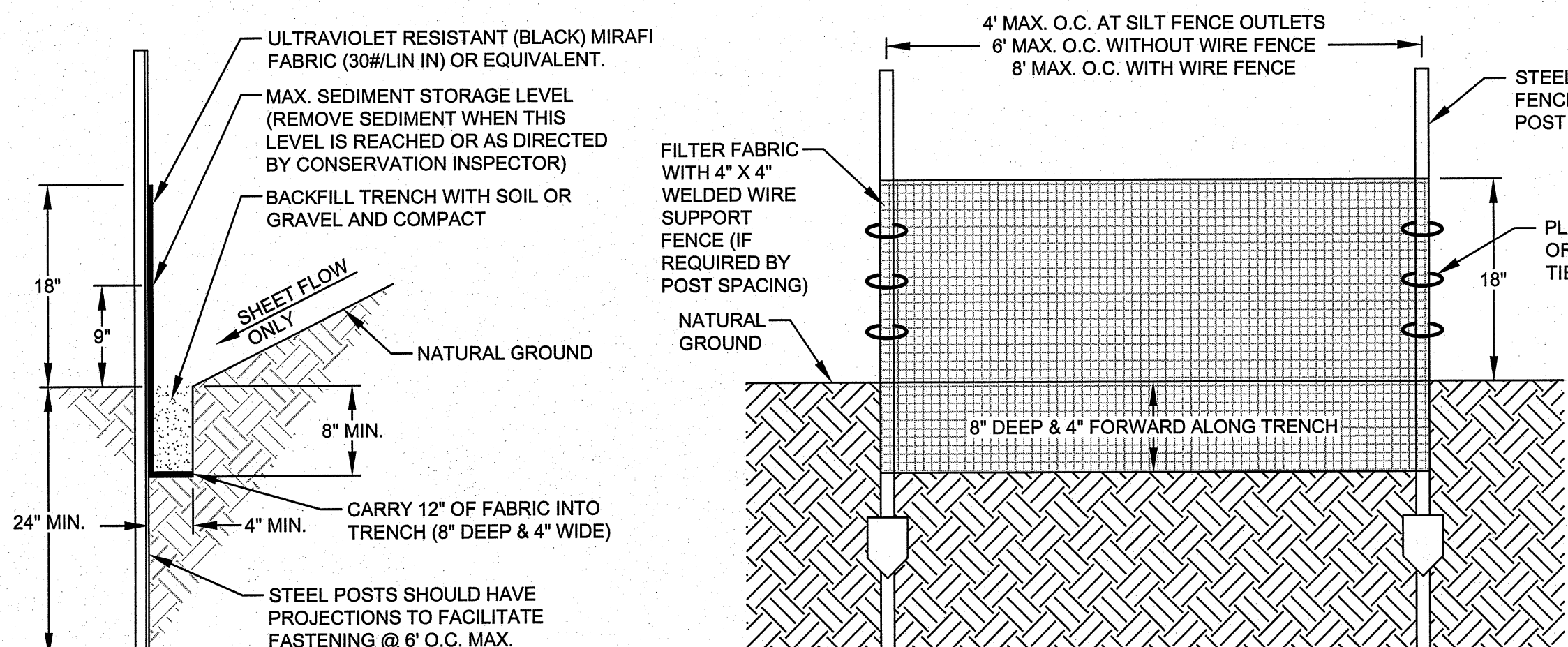
2. REPAIR UNDERMINING BENEATH MATTING. PULL BACK THE MATTING, FILL AND COMPACT THE ERODED AREA, RESEED AND MULCH THEN SECURE MATTING FIRMLY.

3. REPOSITION OR REPLACE MATTING THAT HAS MOVED ALONG THE DITCH OR SWALE CHANNEL AND SECURE FIRMLY.

4. REPLACE DAMAGED SECTIONS OF MATTING.

ROLLED EROSION CONTROL PRODUCT (RECP) DETAIL

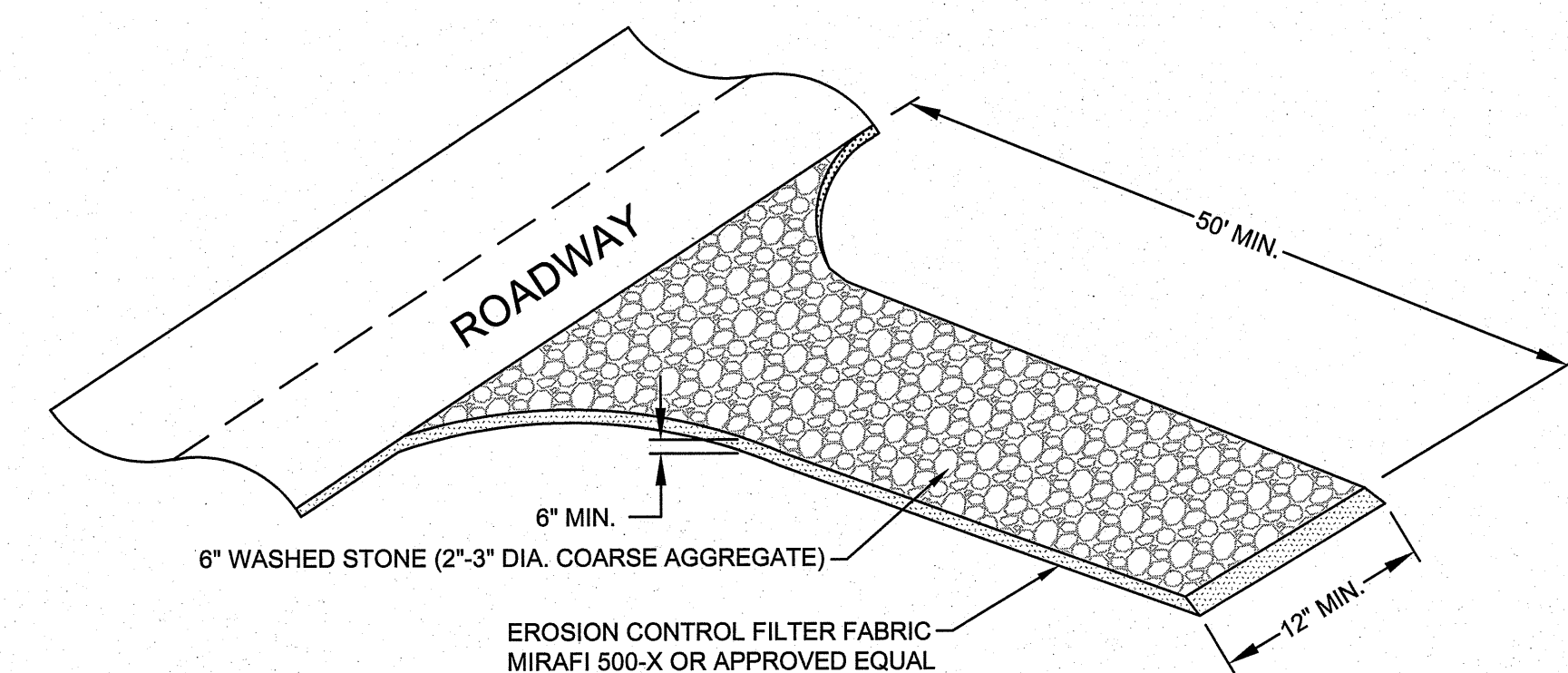
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- ### MAINTENANCE REQUIREMENTS:
- INSPECT SILT FENCE AT LEAST ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 1 INCH OR GREATER IN 24 HOURS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SILT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY.
 - REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES ONE-HALF OF THE FENCE HEIGHT AND AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAINFALL AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO NOT DAMAGE OR UNDERMINE THE FENCE DURING CLEANOUT.
 - INSTALL ADDITIONAL STEEL POSTS OR WIRE BACKING AT LOCATIONS WHERE SILT FENCE IS SAGGING.

SILT FENCE (SEE SHEET C-12 FOR WATTLE BREAK DETAIL)

NOT TO SCALE

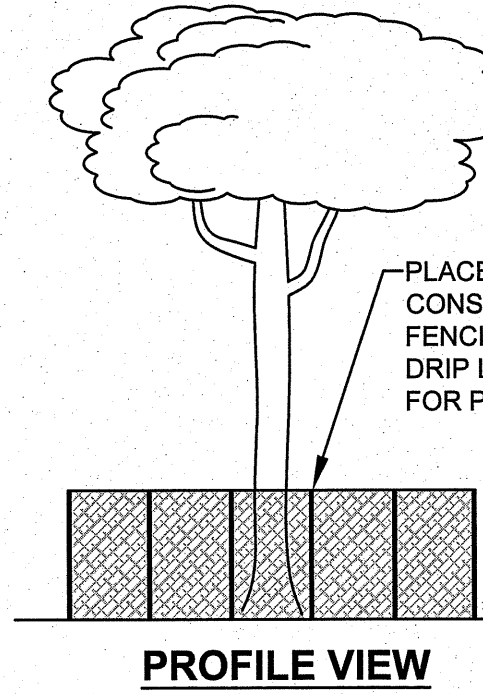
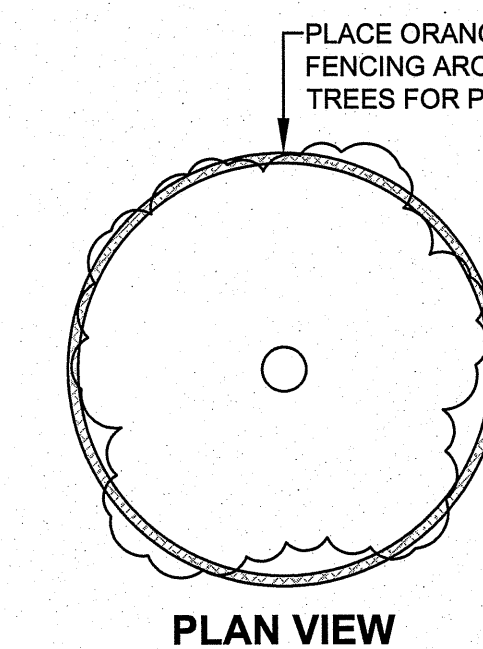


- ### NOTES:
- CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND PROPERLY GRADE IT.
 - PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS AND SMOOTH IT.
 - USE GEOTEXTILE FABRIC UNDER THE STONE IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.
 - PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.

- ### MAINTENANCE REQUIREMENTS:
- INSPECT CONSTRUCTION ENTRANCE AT LEAST ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 1 INCH OR GREATER IN 24 HOURS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - MAINTAIN THE GRAVEL CONSTRUCTION ENTRANCE IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. TOP DRESS WITH 2\"/>
 - CLEAN ANY SEDIMENT TRAPPED BY CONSTRUCTION ENTRANCE AFTER EACH RAINFALL.
 - IMMEDIATELY REMOVE ALL SEDIMENT AND ANY OBJECTIONABLE MATERIALS SPILLED, WASHED OR TRACKED ONTO PUBLIC ROADWAYS.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NOT TO SCALE



- ### NOTES:
- PLACE BARRIERS TO PREVENT THE APPROACH OF EQUIPMENT WITHIN THE DRIP LINE OF TREES TO BE RETAINED.
 - DO NOT NAIL BOARDS TO TREES DURING BUILDING OPERATIONS.
 - DO NOT CUT TREE ROOTS INSIDE THE DRIP LINE.
 - DO NOT PLACE EQUIPMENT, CONSTRUCTION MATERIALS, TOPSOIL, OR FILL DIRT WITHIN THE LIMIT OF THE DRIP LINE OF TREES TO BE SAVED.

- ### MAINTENANCE REQUIREMENTS:
- INSPECT TREE PROTECTION FENCE AT LEAST ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 1 INCH OR GREATER IN 24 HOURS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY.

TREE PROTECTION FENCE

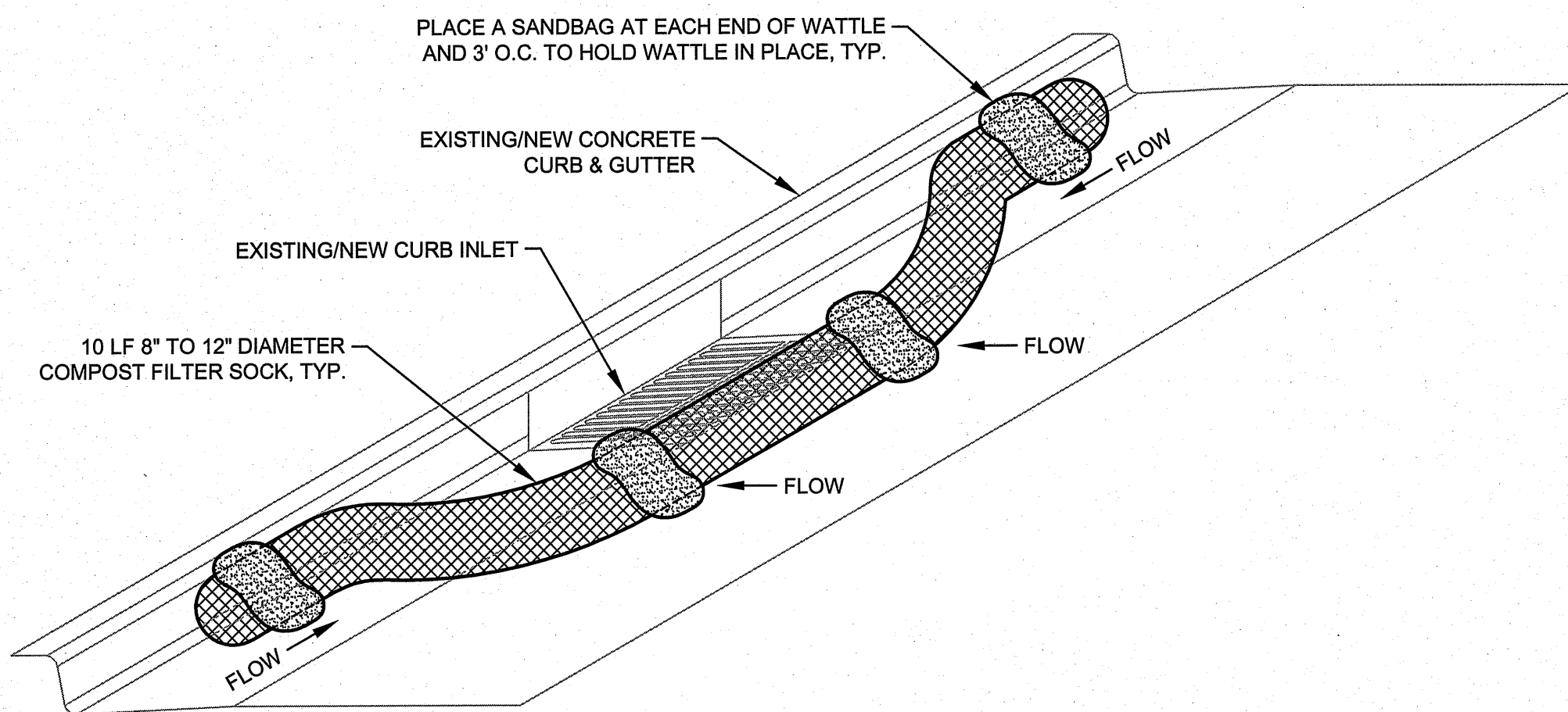
NOT TO SCALE

PRELIMINARY

FOR REGULATORY REVIEW ONLY



EROSION & SEDIMENTATION CONTROL DETAILS SHEET 1	
SCALE:	AS SHOWN
DATE:	1-19-22
DRWN. BY:	SGJ
CHKD. BY:	AJC/MP
PROJECT NUMBER:	B21031
DRAWING NO.:	C-11
SHEET NO.:	11 OF 12



CATCH BASIN COMPOST FILTER SOCK INLET PROTECTION

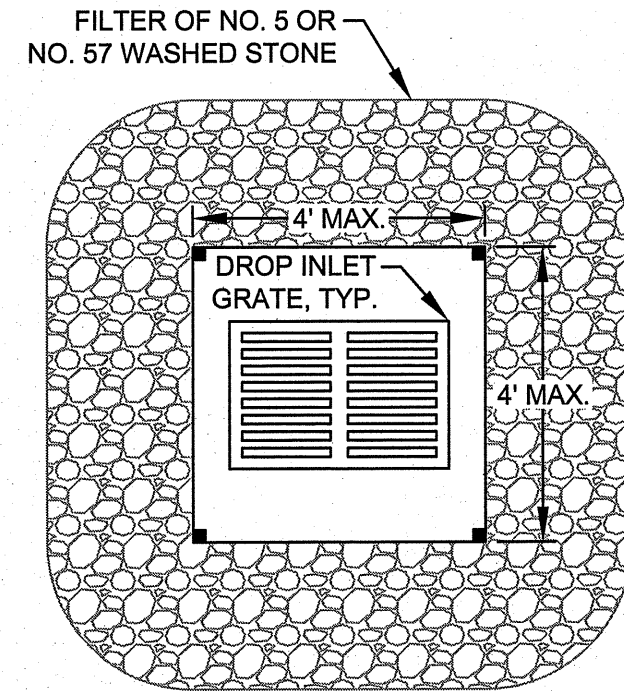
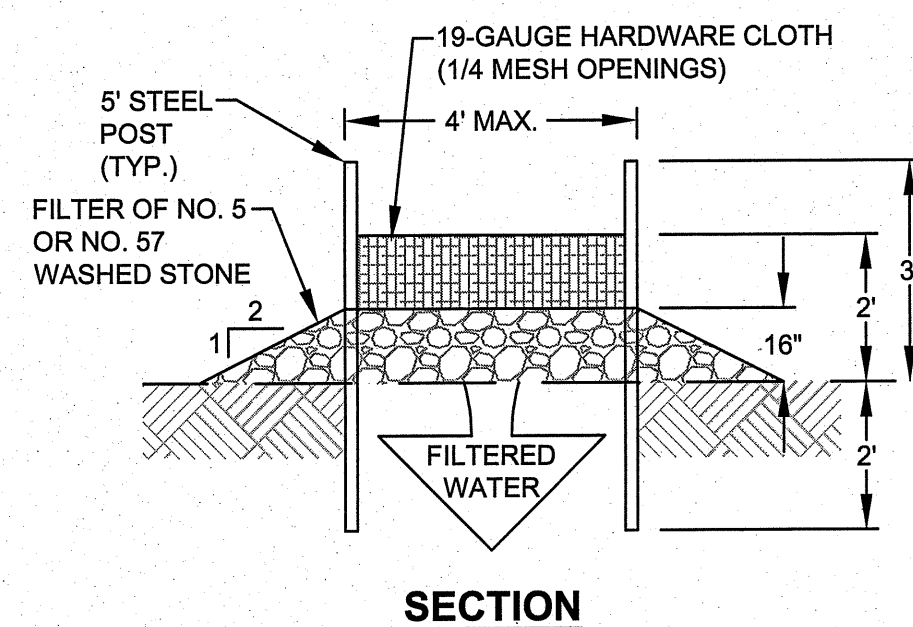
NOT TO SCALE

NOTES:

1. USE MINIMUM 8" DIAMETER TO MAXIMUM 12" DIAMETER COMPOST FILTER SOCK.
2. USE COMPOST FILTER SOCK WITH A MINIMUM LENGTH OF 10 LF.
3. SANDBAGS TO HOLD DOWN FILTER SOCK SHALL BE PLACED AT A MAXIMUM OF 3 LF ON CENTER.
4. SECURE COMPOST FILTER SOCK TO EXISTING/NEW CONCRETE CURB & GUTTER TO MAKE SURE RUNOFF CANNOT UNDERMINE THE FILTER SOCK.

MAINTENANCE REQUIREMENTS:

1. INSPECT COMPOST FILTER SOCKS AT LEAST ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 1 INCH OR GREATER IN 24 HOURS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
2. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FILTER SOCK AND AS NECESSARY TO PROVIDE ADEQUATE FLOW FOR THE NEXT RAINFALL EVENT. REMOVE DEBRIS FROM THE FILTER SOCK. IF THE COMPOST FILTER SOCK BECOMES TOO SATURATED WITH SEDIMENT OR DEBRIS AND REMOVAL IS NOT POSSIBLE, IT SHALL BE REPLACED.
3. COMPOST FILTER SOCKS SHALL BE REPLACED IF THEY ARE CLOGGED OR TORN.
4. CHECK STABILITY OF SANDBAGS AND REINSTALL FILTER SOCK IF THEY BECOME DISLODGED OR UNDERMINED. REPLACE ANY DAMAGED SANDBAGS IMMEDIATELY.



PLAN

HARDWARE CLOTH & GRAVEL INLET PROTECTION

NOT TO SCALE

NOTES:

1. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
2. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE AND BOTTOM, PLACING A 2-FOOT FLAP OF WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
3. PLACE CLEAN GRAVEL (NC DOT NO. 5 OR NO. 57 STONE) ON A 2:1 SLOPE TO A HEIGHT OF 16" AROUND THE WIRE MESH AND SMOOTH TO AN EVEN GRADE.
4. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT AND ESTABLISH FINAL GRADING ELEVATIONS.
5. COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUND COVER.

MAINTENANCE REQUIREMENTS:

1. INSPECT HARDWARE CLOTH & GRAVEL INLET PROTECTION AT LEAST ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 1 INCH OR GREATER IN 24 HOURS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
2. SHOULD THE WIRE MESH HARDWARE CLOTH COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY.
3. CLEAR THE WIRE MESH HARDWARE CLOTH OF ANY DEBRIS TO PROVIDE ADEQUATE FLOW FOR THE NEXT RAINFALL EVENT.
4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES ONE-HALF OF THE HARDWARE CLOTH HEIGHT AND AS NECESSARY TO PROVIDE ADEQUATE FLOW FOR THE NEXT RAINFALL EVENT. TAKE CARE TO NOT DAMAGE OR UNDERMINE THE WIRE MESH DURING SEDIMENT REMOVAL.
5. REPLACE WASHED STONE AS NECESSARY.

GROUND STABILIZATION TIMEFRAMES

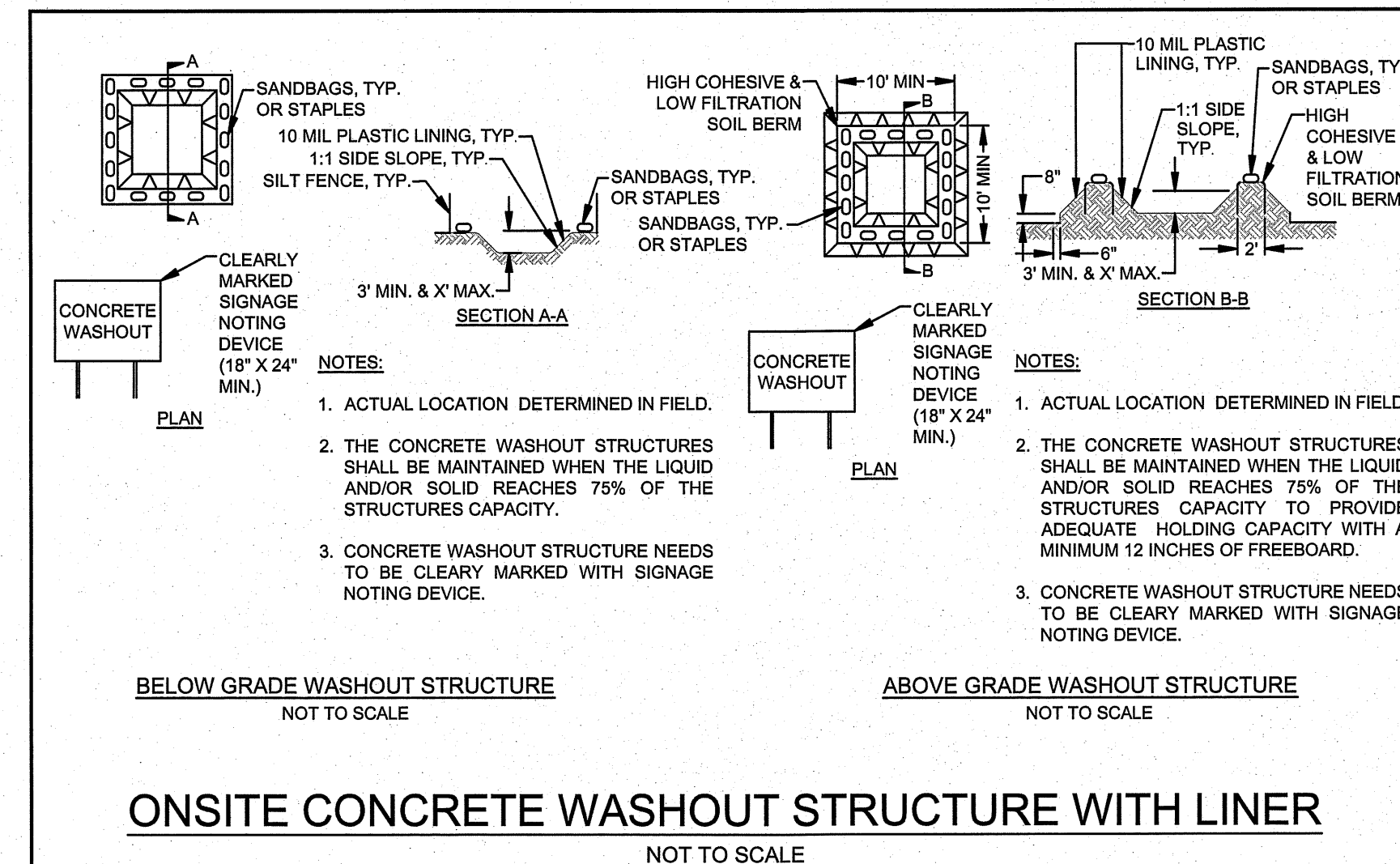
Site Area Description	Required Ground Stabilization Timeframes	
	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

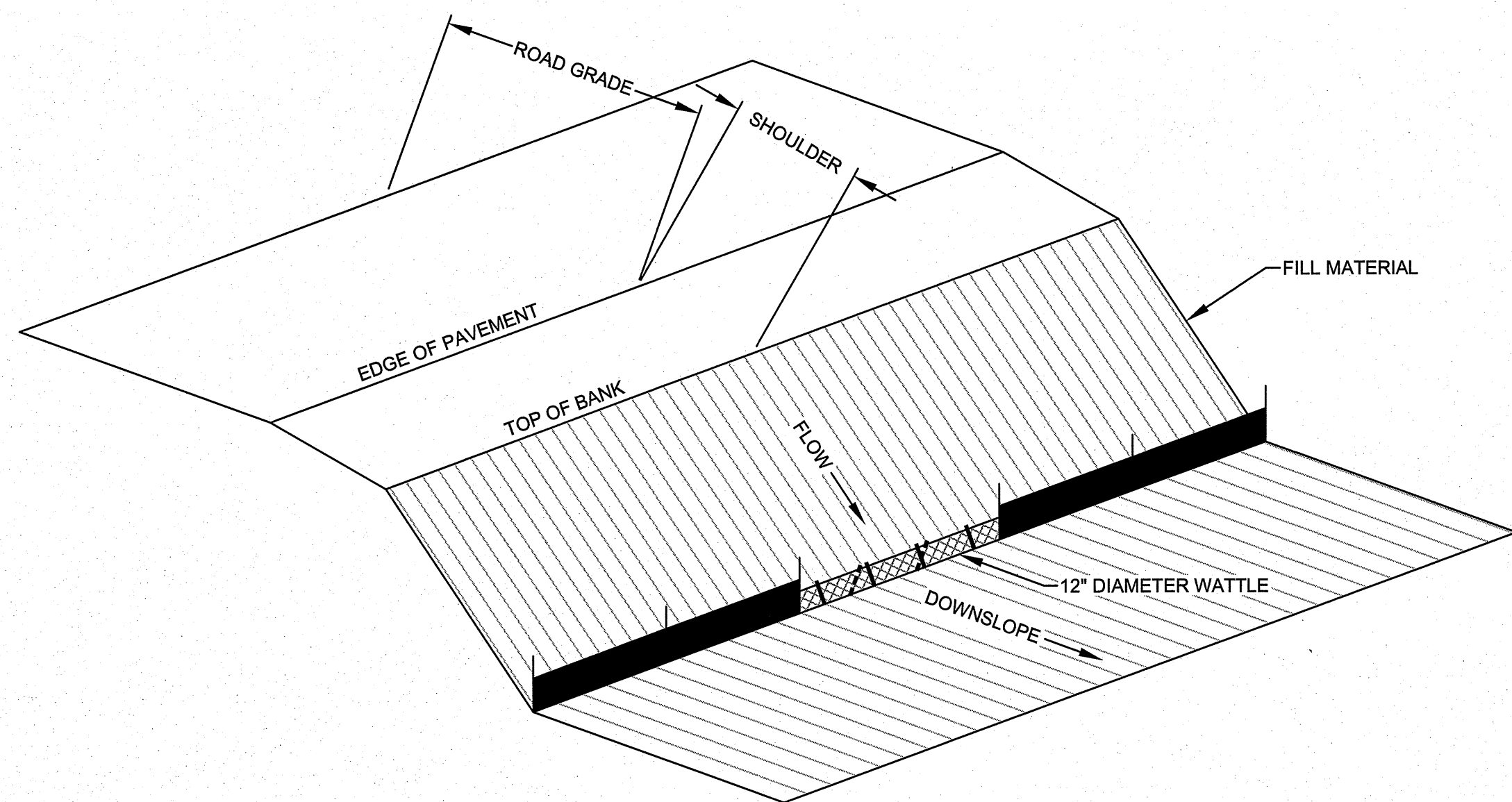
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> • Temporary grass seed covered with straw or other mulches and tackifiers • Hydroseeding • Rolled erosion control products with or without temporary grass seed • Appropriately applied straw or other mulch • Plastic sheeting 	<ul style="list-style-type: none"> • Permanent grass seed covered with straw or other mulches and tackifiers • Geotextile fabrics such as permanent soil reinforcement matting • Hydroseeding • Shrubs or other permanent plantings covered with mulch • Uniform and evenly distributed ground cover sufficient to restrain erosion • Structural methods such as concrete, asphalt or retaining walls • Rolled erosion control products with grass seed

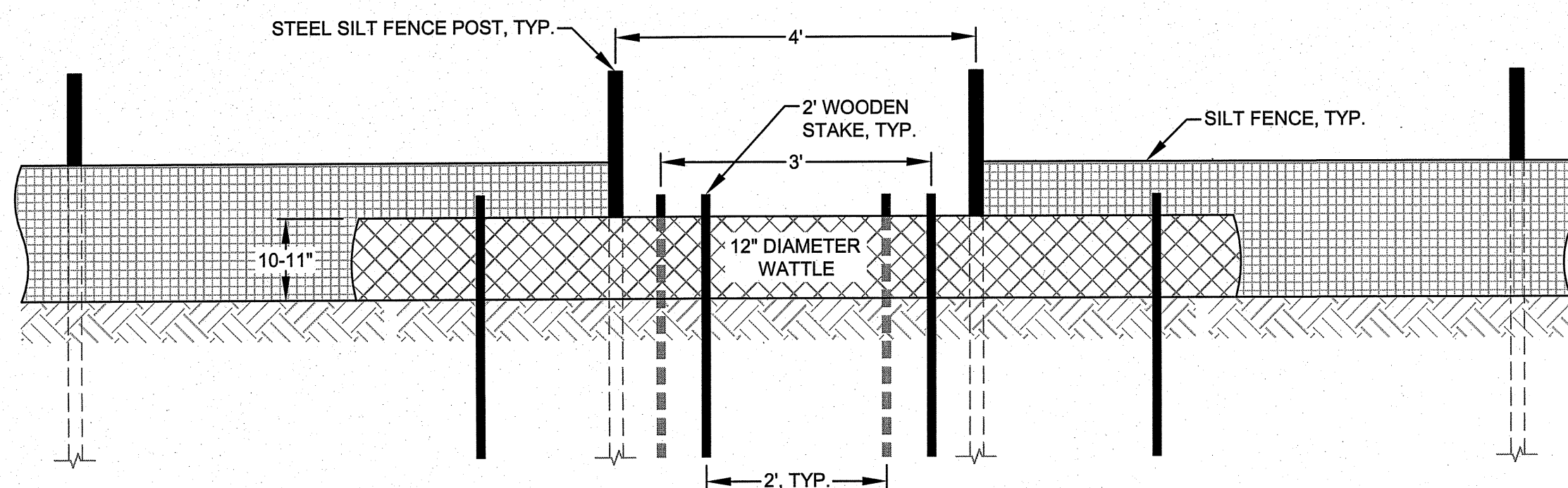


ONSITE CONCRETE WASHOUT STRUCTURE WITH LINER

NOT TO SCALE



ISOMETRIC VIEW



VIEW FROM SLOPE

SILT FENCE WATTLE BREAK

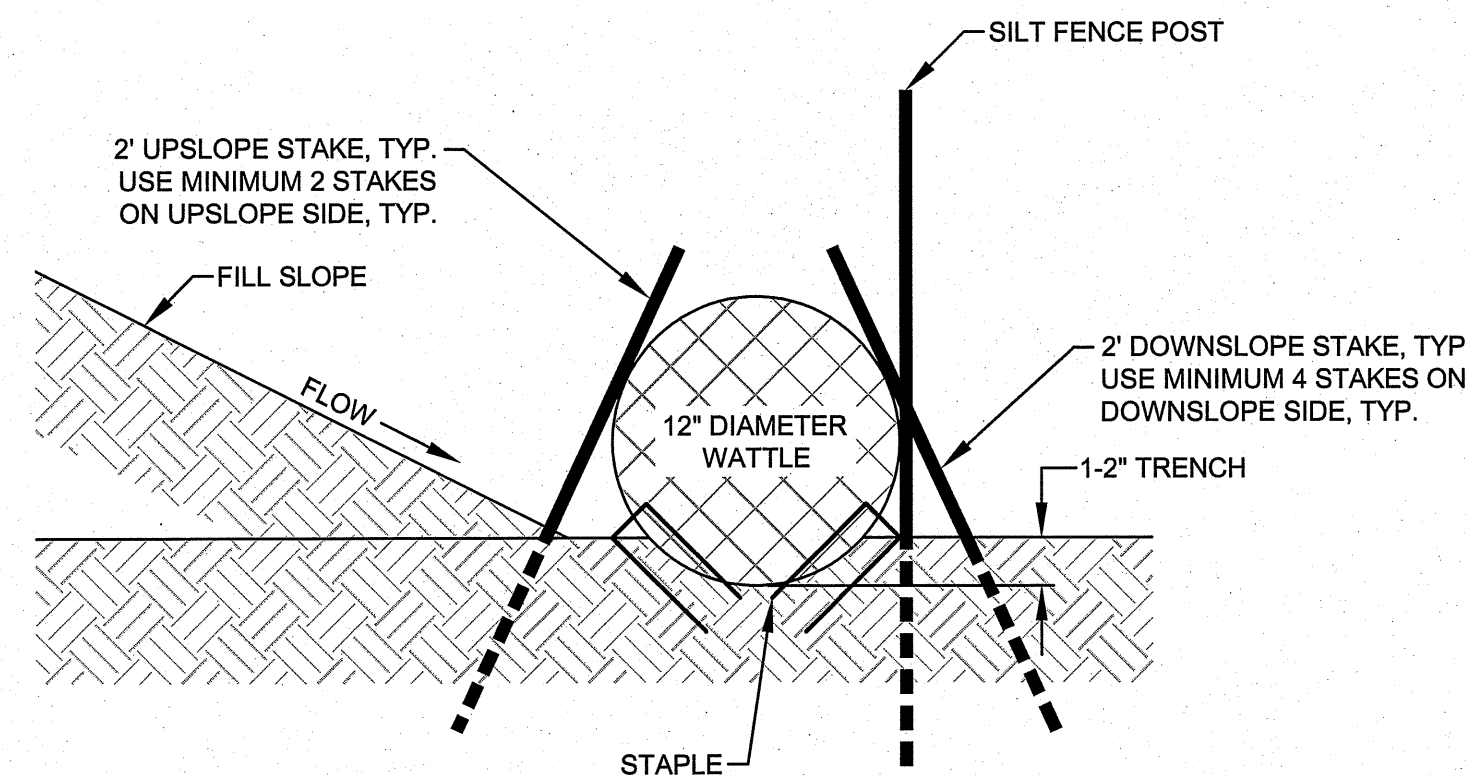
NOT TO SCALE

NOTES:

1. USE MINIMUM 12" DIAMETER EXCELSIOR WATTLE AND LENGTH OF 10'.
2. EXCAVATE A 1" TO 2" TRENCH FOR WATTLE TO BE PLACED.
3. DO NOT PLACE WATTLE ON TOE OF SLOPE.
4. USE 2' LONG WOODEN STAKES WITH A 2" X 2" NOMINAL CROSS SECTION.
5. INSTALL A MINIMUM OF 2 UPSLOPE STAKES AND 4 DOWNSLOPE STAKES AT AN ANGLE TO WEDGE WATTLE TO GROUND.
6. STAKES SHALL NOT BE INSTALLED THROUGH THE WATTLE.
7. PROVIDE STAPLES MADE OF 0.125" DIAMETER STEEL WIRE FORMED INTO U SHAPE NOT LESS THAN 12" IN LENGTH.
8. INSTALL STAPLES APPROXIMATELY EVERY 1 LINEAR FOOT ON BOTH SIDES OF WATTLE AND AT EACH END TO SECURE IT TO THE SOIL.
9. WATTLE INSTALLATION CAN BE ON OUTSIDE OF THE SILT FENCE AS DIRECTED.
10. INSTALL TEMPORARY SILT FENCE IN ACCORDANCE WITH DETAIL.

MAINTENANCE REQUIREMENTS:

1. INSPECT WATTLE BREAKS AT LEAST ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 1 INCH OR GREATER IN 24 HOURS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
2. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES ONE-HALF THE HEIGHT OF THE WATTLE AND AS NECESSARY TO PROVIDE ADEQUATE FLOW FOR THE NEXT RAINFALL EVENT. REMOVE DEBRIS FROM THE WATTLE. IF THE NATURAL FIBERS OF THE WATTLE BECOME TOO SATURATED WITH SEDIMENT OR DEBRIS AND REMOVAL IS NOT POSSIBLE, WATTLES SHALL BE REPLACED.
3. WATTLES SHALL BE REPLACED IF THEY ARE CLOGGED OR TORN.
4. CHECK STABILITY OF ANCHOR STAKES AND REINSTALL WATTLES IF THEY BECOME DISLODGED OR UNDERMINED.



SIDE VIEW



DATE	BY	REV.	DESCRIPTION

EROSION & SEDIMENTATION CONTROL
DETAILS SHEET 2

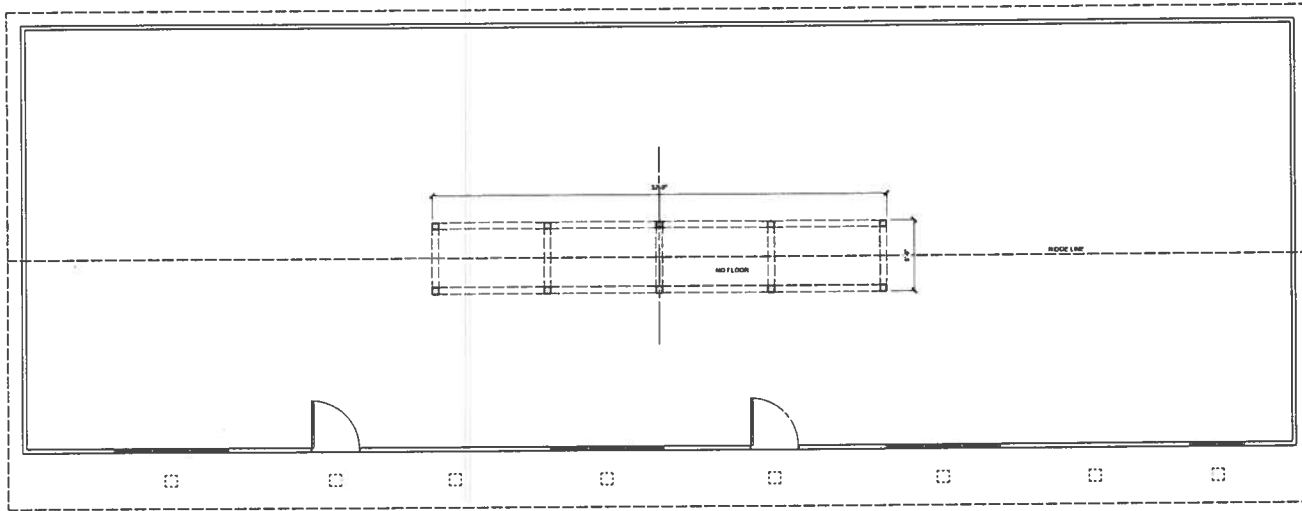
SCALE: AS SHOWN
DATE: 1-19-22
DRWN. BY: SGJ
CHKD. BY: AJC/MPT
PROJECT NUMBER: B21031
DRAWING NO. C-12 SHEET NO. 12 OF 12

PRELIMINARY
FOR REGULATORY REVIEW ONLY

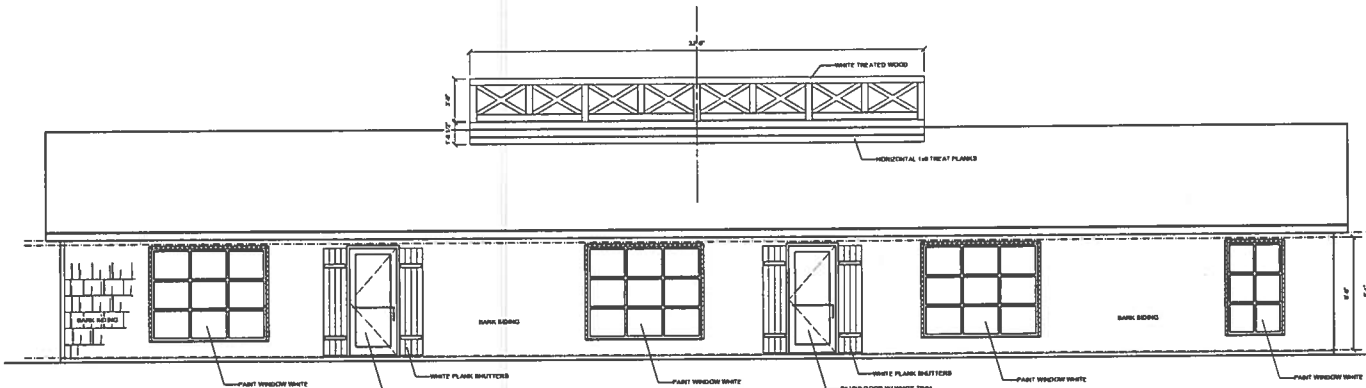


207th - Blowing Rock, North Carolina
 10000 - Blowing Rock, North Carolina

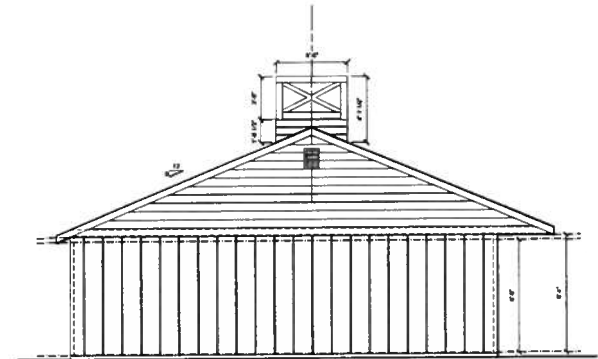
**Anne Furr
 Store Front
 Blowing Rock, North Carolina**



1 MAIN FLOOR PLAN
 1/4" = 1'-0"



2 FRONT ELEVATION - 'A'
 1/4" = 1'-0"



3 SIDE ELEVATION
 1/4" = 1'-0"

NOT FOR CONSTRUCTION

Sheet Front Plan & Elevation	Revisions
1a July 2020	
SG, gk	
20077	
A-1.0	



Elevations are illustrative and variations to design elements may occur. Windows walk shown will not be constructed as part of this project.

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MEMO

TO: Blowing Rock Planning Board

FROM: Kevin Rothrock, Planning Director

SUBJECT: 2023-24 Comprehensive Plan Subcommittee

DATE: March 9, 2023

The Comprehensive Plan Update Process began this week with the Town selecting Benchmark Planning to assist with a consulting services contract.

Benchmark completed the 2014 Comprehensive Plan Update, consulted and rewrote the sign ordinance in 2018, and assisted with the 321 Visioning study in 2019.

The outline for the Comprehensive Plan process is as follows:

- Initiation begins in March 2023
- Background Research in March and April
- Initial Public Input in May
- Preparation of Draft Plan in June through September
- Public Input in Sept/Oct
- Preparation and Presentation of Final Plan in November through January 2024

Staff requests up to 4 members of the Planning Board to serve on the Comprehensive Plan Steering Committee.