

NOT FOR CONSTRUCTION

SITE DESIGN AND LANDSCAPE ARCHITECTURE FOR

# Mayview Plaza

LAUREL LANE  
BLOWING ROCK, NC

Pricing Set

Jan 30, 2018

**Visiondesign**  
collaborative, P.A.

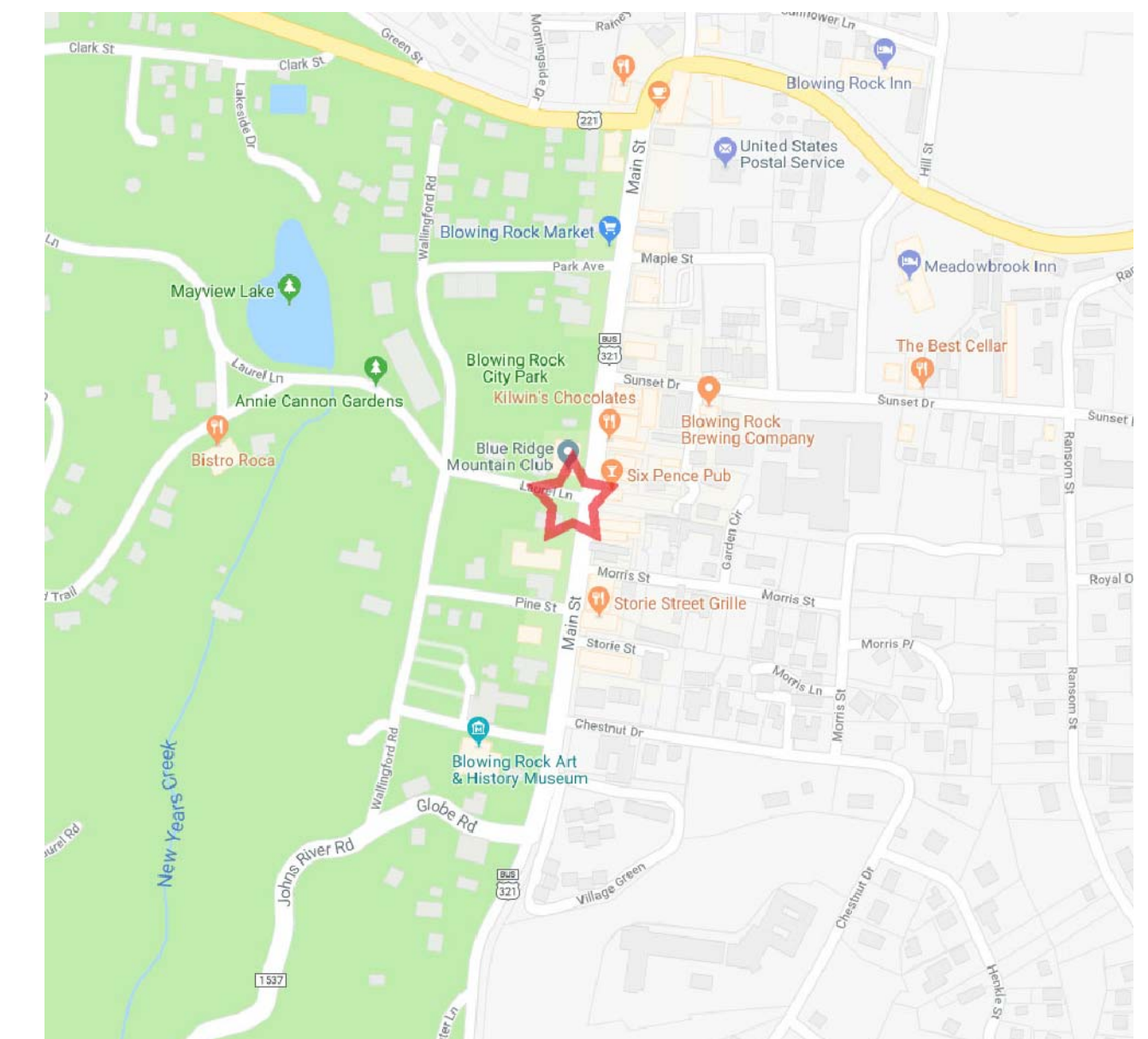
landscape architecture  
illustrations  
visioning  
planning

Phone 828.989.0618 Fax 828.277.7700  
85 School Rd E. Asheville, NC 28803  
WWW.VISIONDESIGNPA.COM

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## VICINITY MAP - N.T.S.



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**MAYVIEW PLAZA**  
Blowing Rock, NC

**GENERAL NOTES**

- 1) Base survey & topographic information for the project was provided to Vision Design Collaborative (VDC) by Ed Fleming (828) 612-0858. VDC is not liable for any costs associated with errors or mistakes due to inaccuracies in the survey data provided.
- 2) All project work shall comply with all federal, state, and local codes and ordinances. If there is a discrepancy between the drawing set and federal/state/local codes and ordinances, the contractor shall notify the project landscape architect immediately prior to start of construction.
- 3) All questions regarding the intent of the landscape drawings shall be presented to the project landscape architect using a "request for information" form or in email format. VDC shall be given adequate time to respond to such requests.
- 4) The contractor shall review all landscape construction drawings and specifications to confirm that all work is buildable as shown, prior to proceeding with the work. It is the responsibility of the contractor to notify the project landscape architect if any conditions exist that would prevent the construction of the project according to the construction documents and specifications. The contractor shall notify the project landscape architect immediately if any discrepancies exist, prior to commencement of work. The project landscape architect shall provide supplemental information on the design intent, as needed by the contractor, in accordance with the landscape design scope of work.
- 5) Contractor is responsible for contacting the local underground utility services for utility location and identification prior to digging. Perform excavation in the vicinity of underground utilities with care and by hand, if necessary. The contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to the owner or design consultants.
- 6) The contractor shall notify the appropriate local & state government agencies when there is need of an inspection as required by all codes or ordinances. Contractor shall be responsible for obtaining all applicable permits necessary to perform the work outlined in this construction set.
- 7) Submit shop drawings, cut sheets, mockups and product samples when required by the specifications and/or detail notes, for review by the project landscape architect prior to commencing with related work. Project landscape architect shall be given adequate time for review and response to mockup/submittal.
- 8) Appropriate measures and care shall be taken not to disturb work installed. Where work installed is disturbed during construction, such areas shall be refinished to match the area prior to the disturbance.
- 9) All structural components of site walls retaining over 4' of grade shall be reviewed, designed and sealed by a licensed structural engineer.
- 10) VDC is not responsible for, nor takes any liability (financial or otherwise) as it relates to any and all site work as shown on these plans, that is built or started prior to the issue date of these site "for construction" drawings.
- 11) VDC shall not supervise, direct, or have control over Contractor's work. VDC shall not have authority over or responsibility for the construction means, methods, techniques, sequences or procedures or for safety precautions and programs in connection with the work of the Contractor. VDC does not guarantee the performance of the construction contract by the Contractor and does not assume responsibility for the Contractor's failure to furnish and perform its work in accordance with the Contract Documents.
- 12) VDC in no way guarantees survival of any existing tree shown on the property. Measures shall be taken to provide protection to trees anticipated to remain on the site. However, it is possible that construction and post-development stresses could fatally damage existing trees on the site.

**SITE GRADING & DRAINAGE NOTES**

- 1) All required erosion control measures shall be put in place prior to any land disturbance. Contractor is responsible for implementing and maintaining approved erosion control measures.
- 2) The contractor shall obtain and maintain all permitting and proper inspections in advance and during the performance of all grading work.
- 3) This landscape set includes recommended locations for site area drain inlets as well as drain inlet (DI) elevations at the surface.
- 4) Proposed subsurface pipe shall tie into existing subsurface drain system where possible. Proposed subsurface pipe shall match size and material of existing pipe system that it connects to, unless otherwise noted. All pipe shall drain at 1% min. slope to daylight. Contractor responsible to ensure fittings and materials are selected and installed according to industry standards.
- 5) All final finish paving surfaces shall comply with ADA standards (if applicable) for finish, elevation change allowed, etc.

**SITE MATERIAL NOTES:**

- 1) Material patterns shown on plan sheets are only diagrammatic. For final material dimensions, finishes, and installation requirements please refer to details & specifications.
- 2) Proposed substitution of specified materials or products associated with the landscape design, shall be presented to the project landscape architect for review. Contractor shall not change the specified product unless the project landscape architect and owner have approved the substitution.
- 3) Submit shop drawings, cut sheets, mockups and product samples when required by the drawings or specifications. Landscape Architect shall review and approve prior to commencing with construction of those items/elements. Project Landscape Architect shall be given adequate time to review and respond to mockups/submittals.
- 4) Linework for all Site Walls shown on the Landscape Site Plans represents the outside face of veneer except where noted.
- 5) Expansion joint to be provided where site paving abuts building structure, columns, and other vertical structures.

**LAYOUT & DIMENSIONING NOTES**

- 1) Contractor is to lay out and verify dimensions prior to construction. Contractor shall verify dimensions and layout of walls, wall footers, and site elements with existing conditions and bring any discrepancies to the attention of the project Landscape Architect and/or associated design consultant.
- 2) Written dimensions take precedence over scale. Do not scale drawings.
- 3) The linework for all site walls shown in this site construction document set represents the outside finished face of the wall (including veneer). Wall/ column capstones extend beyond this line/edge. See wall/column details for capstone overhang.
- 4) Site walls are dimensioned to centerline of wall (unless otherwise noted).
- 5) For layout and dimensions of paving bands, walls and other site elements not dimensioned on the Layout plan, refer to detail sheets.
- 6) Where dimensions are called out as "equal", space referenced items equally, measured to their center lines.
- 7) Where site elements are shown to "align", align to the outside face of the finish material, unless otherwise noted.
- 8) All dimensions of walkways / site elements along the edge of roadways are taken from the back of curb.
- 9) Contractor shall verify final wall footer layout and sizing prior to construction.

**SITE PLANTING NOTES**

- 1) If any part of this planting plan cannot be followed due to site conditions, contact project landscape architect for instructions prior to commencement of work. Items (site structures) encountered below grade and not shown on the drawings shall be brought to the attention of the project landscape architect before proceeding with that area of planting / construction.
- 2) Exact locations of plant materials to be approved by the landscape architect in the field prior to installation. Landscape architect reserves the right to adjust plants to exact location in field.
- 3) Verify plant counts and square footages. If quantities on plant list differ from graphic indications, then graphics shall prevail.
- 4) Trees & shrubs shall bear same relation to finished grade as they bore to existing at nursery / tree farm.
- 5) Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
- 6) Prune newly planted trees only as directed by landscape architect.
- 7) Contractor shall provide Landscape Architect with photographs of sourced trees for review prior to digging or shipping of plant materials.
- 8) Top soil for planting beds shall be provided by contractor at all proposed plant beds and new lawn areas as shown on plans. Top soil shall consist of the following: two parts native soil that is clean, friable, free of construction debris, stiff clay, stones larger than 1" diameter, weeds, sod and other deleterious material. One part humus material that is finely ground pine bark, nature's helper, milled sphagnum peat, well rotted manure, well rotted sawdust, or a combination thereof free of viable seeds, roots and organisms or other substances detrimental to plant growth. Thoroughly mix prior to backfilling. Do not use muddy soil for backfilling. Top soil shall be provided to a minimum depth of 12" in all planting areas and shall be provided to a depth of 6" over areas to receive sod or lawn grass seed (as applicable).
- 9) Finish grades of shrub areas (to top of mulch) shall be 1 1/2 inches below adjacent paving or header unless otherwise noted.
- 10) Mulch: All shrub beds, Tree rings and exposed soil areas shall have a 3" layer of double-ground hardwood mulch. Mulch shall be free from viable weed seeds, roots or deleterious materials and suitable for top dressing of trees shrubs or ground covers. The project landscape architect shall review mulch prior to installation. All exposed soil areas shall be top dressed with a 3" layer of mulch.
- 11) Alternate plant species may be considered as needed for substitution. Contractor shall submit alternate proposals to the Landscape Architect for review.
- 12) See L8.1 for planting details & specifications.

**IRRIGATION NOTES**

- 1) Irrigation design, detailing and specifications is NOT part of this landscape construction set and is not included in VDC's scope of work for the project.
- 2) Unless otherwise agreed upon by the Owner and the General Contractor (GC), the GC is responsible for the watering of all proposed plants shown on the planting plan to ensure establishment and future survival. VDC is not responsible for any plant losses due to inadequate water or any other causes.

**DESCRIPTION OF ALTERNATES**

- ALT. L1 ALT L1: Eliminate concrete pavers in all areas called out as VEHICULAR PAVERS on sheet L5.0. Replace with 8" thick vehicular grade concrete with exposed aggregate finish and integral color. Decorative score joints at 24" on center - both directions.
- ALT. L2 ALT L2: Add 6" thick concrete slab under pavers within area called out as PEDESTRIAN CROSSING on sheet L5.0. Set pavers over bitumin-sand setting bed with neoprene paver mastic.
- ALT. L3 ALT L3: Add non-woven geotextile cloth between compacted aggregate and sand setting beds at all sand-set paver applications.

ISSUE DATE: 01.30.2018		
REVISIONS		
#	DATE	DESCRIPTION
DRAWN:		REVIEWED:

**PRICING SET  
NOT FOR  
CONSTRUCTION**

PROJECT NUMBER: 17-1108

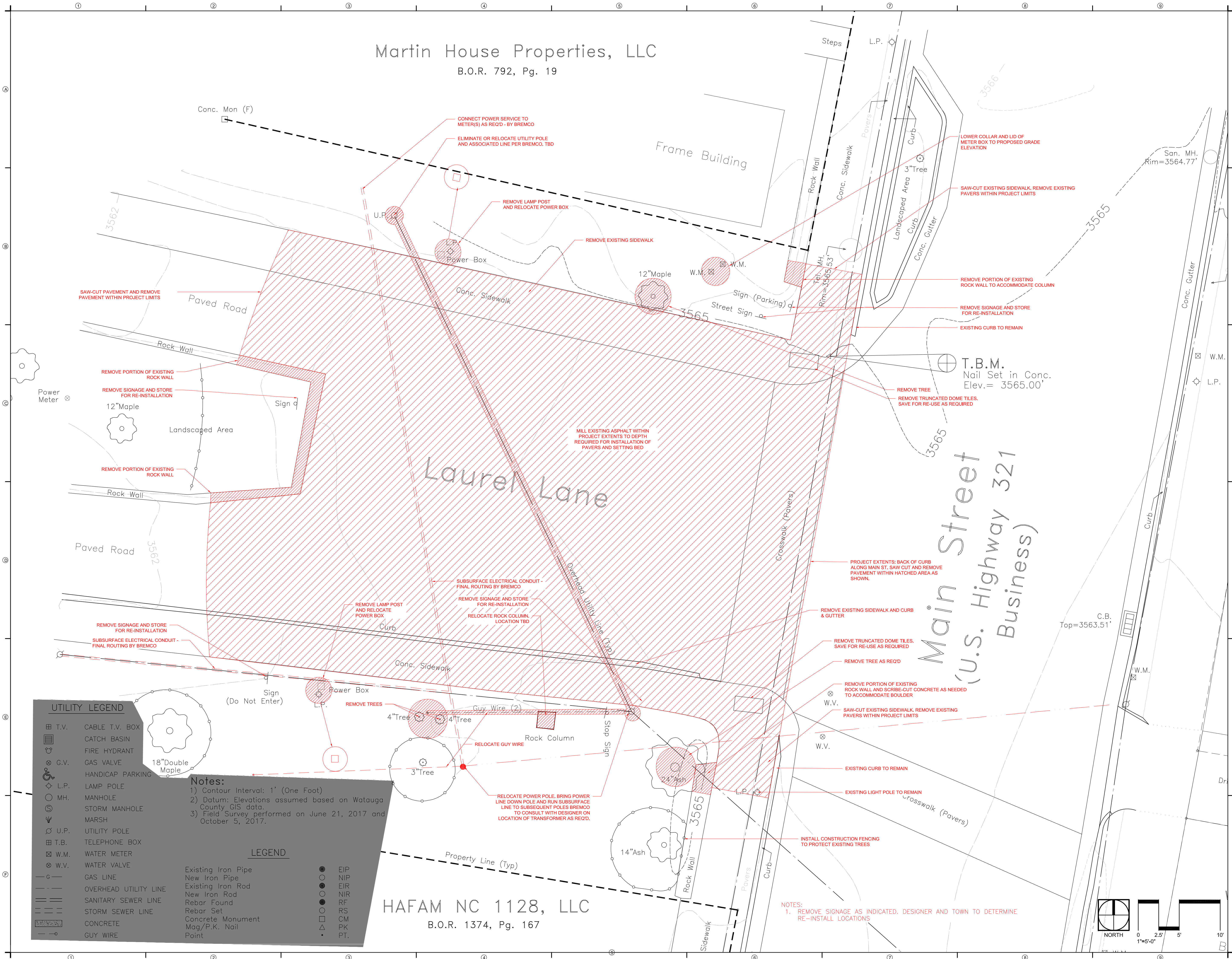
**GENERAL NOTES**

SHEET NUMBER  
**L0.0**

**MAYVIEW PLAZA**  
Blowing Rock, NC

Martin House Properties, LLC  
B.O.R. 792, Pg. 19

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B.O.R. 1374, Pg. 167



**UTILITY LEGEND**

- ⊠ T.V. CABLE T.V. BOX
- ⊠ CATCH BASIN
- ⊠ FIRE HYDRANT
- ⊠ G.V. GAS VALVE
- ♿ HANDICAP PARKING
- ⊠ L.P. LAMP POLE
- ⊠ M.H. MANHOLE
- ⊠ S.M. STORM MANHOLE
- ⊠ MARSH
- ⊠ U.P. UTILITY POLE
- ⊠ T.B. TELEPHONE BOX
- ⊠ W.M. WATER METER
- ⊠ W.V. WATER VALVE
- GAS LINE
- OVERHEAD UTILITY LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- CONCRETE
- GUY WIRE

- Notes:**
- 1) Contour Interval: 1' (One Foot)
  - 2) Datum: Elevations assumed based on Watauga County GIS data.
  - 3) Field Survey performed on June 21, 2017 and October 5, 2017.

**LEGEND**

- Existing Iron Pipe
- New Iron Pipe
- Existing Iron Rod
- New Iron Rod
- Rebar Found
- RS
- RF
- CM
- △ PK
- PT.

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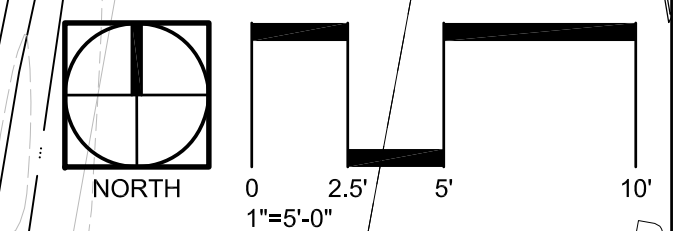
**PRICING SET  
NOT FOR  
CONSTRUCTION**

PROJECT NUMBER: 17-1108

**EXISTING  
CONDITIONS  
& SITE DEMO**

SHEET NUMBER  
**L1.0**

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# MAYVIEW PLAZA

Blowing Rock, NC

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PROJECT NUMBER: 17-1108

**PROPOSED DESIGN  
W/ SITE DEMO**

SHEET NUMBER

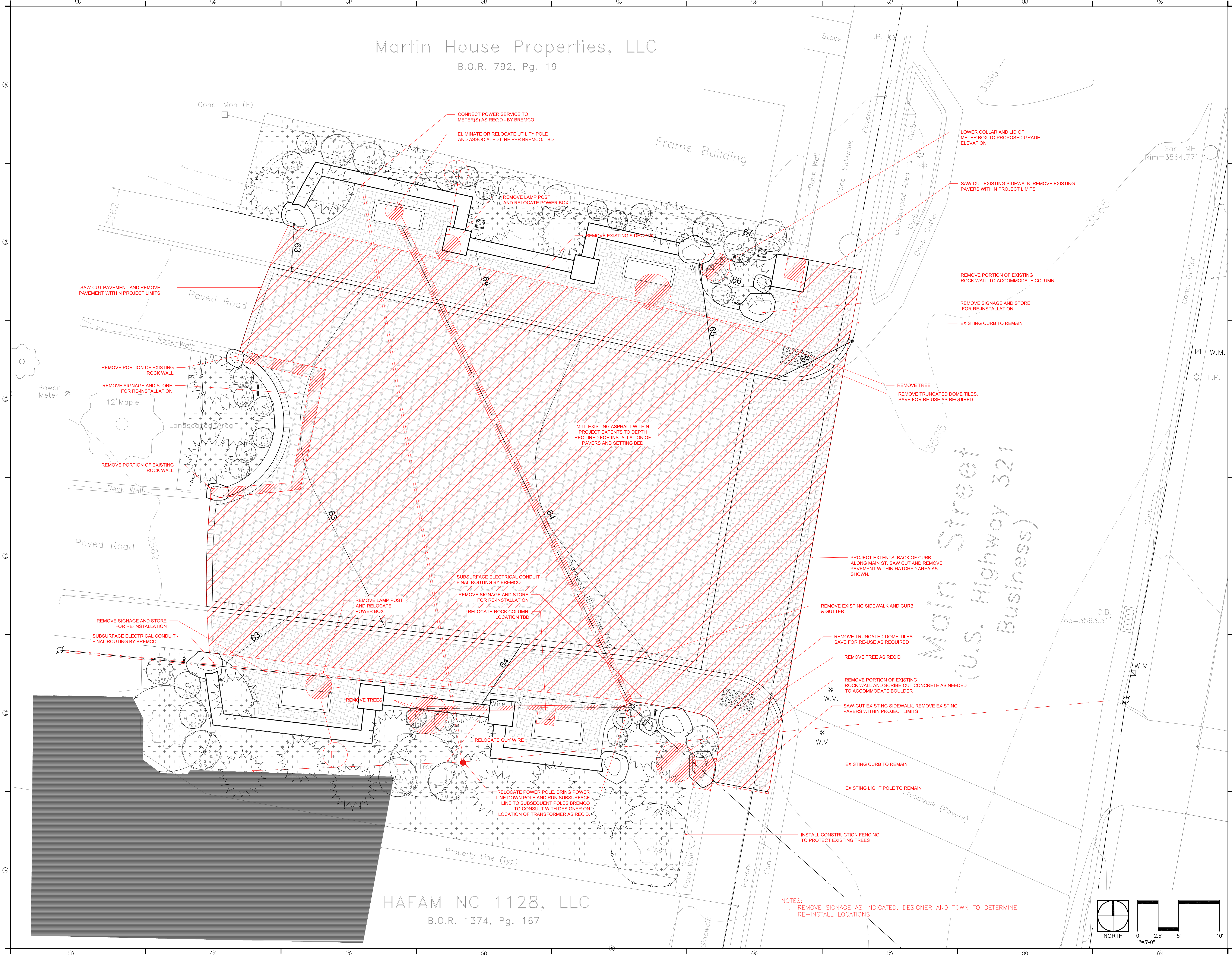
**L1.1**

## Martin House Properties, LLC

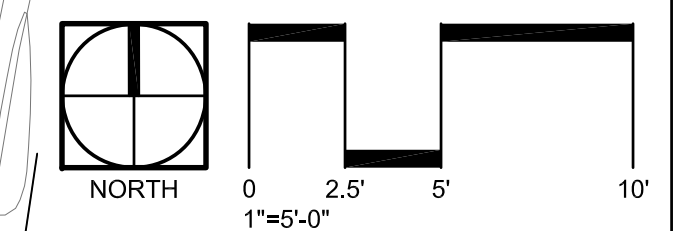
B.O.R. 792, Pg. 19

## HAFAM NC 1128, LLC

B.O.R. 1374, Pg. 167



NOTES:  
1. REMOVE SIGNAGE AS INDICATED. DESIGNER AND TOWN TO DETERMINE RE-INSTALL LOCATIONS



Martin House Properties, LLC

B.O.R. 792, Pg. 19

HAFAM NC 1128, LLC

B.O.R. 1374, Pg. 167

PATTERN & SYMBOL LEGEND

	VEHICULAR PAVERS	EAGLE BAY V5; COLOR: JEFFERSON
	PEDESTRIAN PAVERS	EAGLE BAY KINGSLAND; COLOR: BULL RUN
	PEDESTRIAN CROSSING	EAGLE BAY COTTAGESTONE; COLOR: BULL RUN
	CONCRETE PAVING W/ SCORE JOINTING	MATCH EXISTING
	SITE BENCH	BY OTHERS
	TRASH RECEPTICAL	BY OTHERS
	POLE LIGHT	BY OTHERS
	SIGNAGE	BY OTHERS
	DRAIN INLET	TBD
	LANDSCAPE BOULDER	WEATHERED GRANITE OR SANDSTONE
	EXISTING TREE TO REMAIN	
	PROPOSED DECIDUOUS TREE	
	PROPOSED DECIDUOUS SHRUB	
	PROPOSED EVERGREEN SHRUB	

MAYVIEW PLAZA

Blowing Rock, NC

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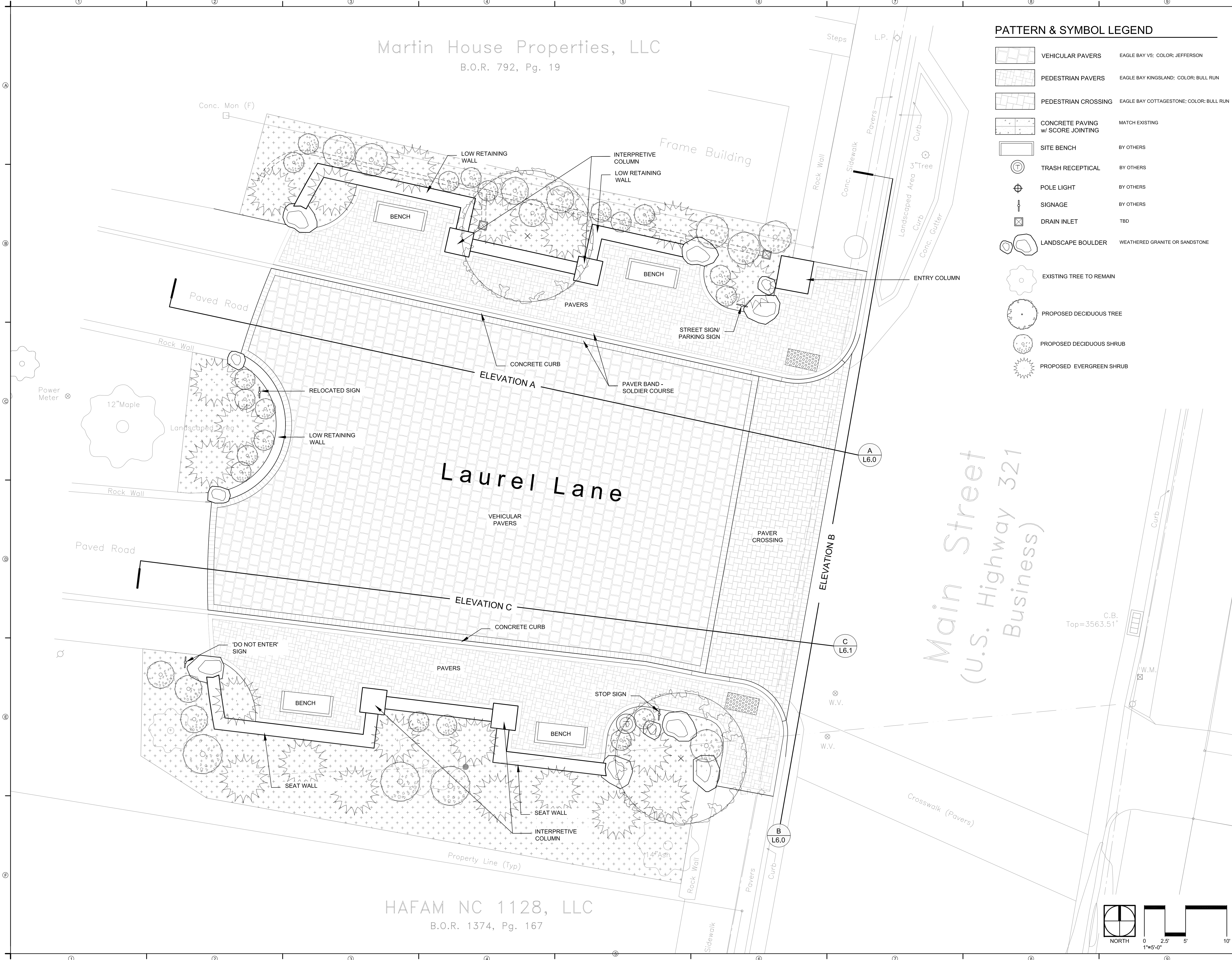
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PROJECT NUMBER: 17-1108

SITE PLAN

SHEET NUMBER

L2.0

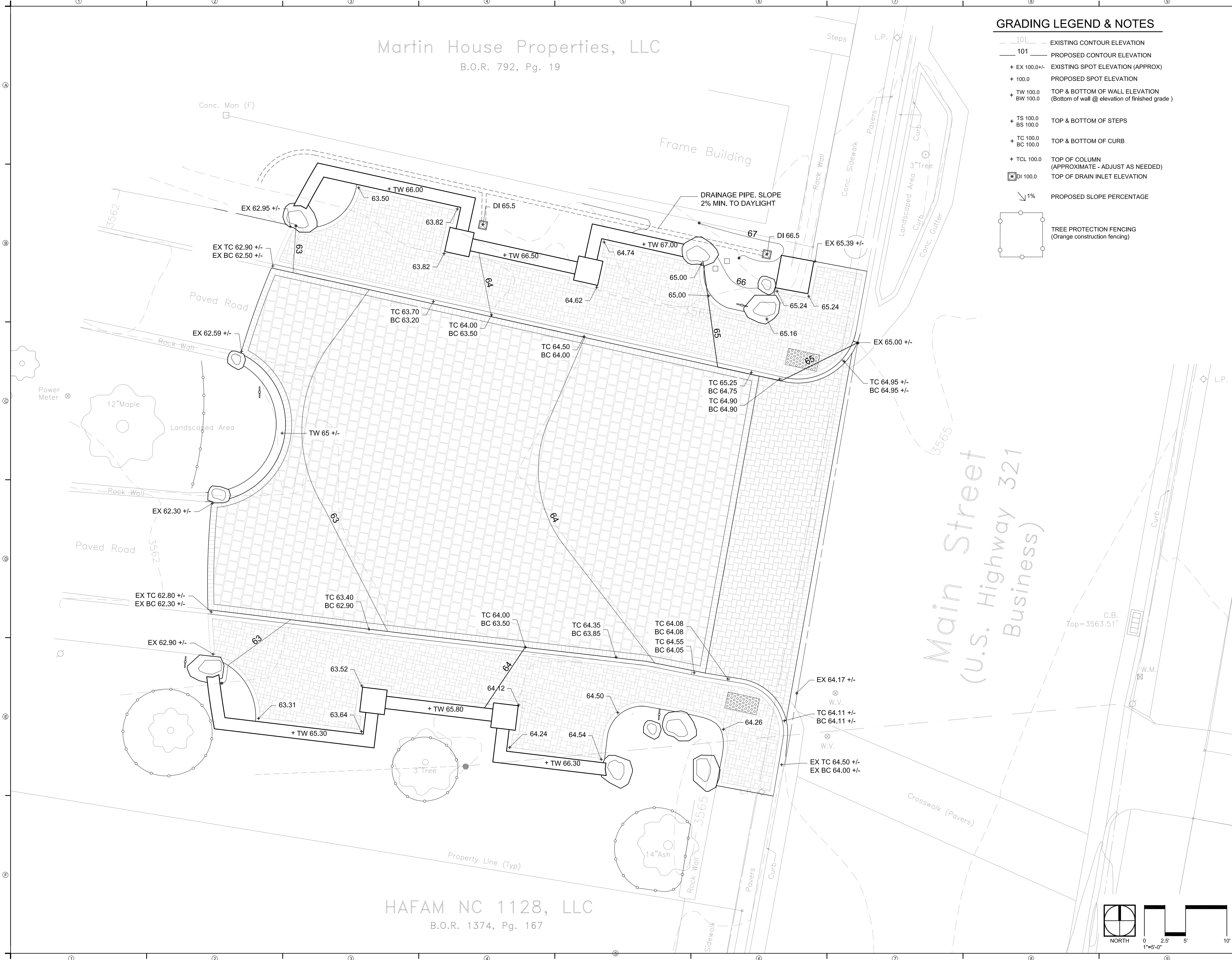


Martin House Properties, LLC  
B.O.R. 792, Pg. 19

GRADING LEGEND & NOTES

- 101 - EXISTING CONTOUR ELEVATION
- 101 - PROPOSED CONTOUR ELEVATION
- + EX 100.0 +/- EXISTING SPOT ELEVATION (APPROX)
- + 100.0 PROPOSED SPOT ELEVATION
- + TW 100.0 TOP & BOTTOM OF WALL ELEVATION  
(Bottom of wall @ elevation of finished grade)
- + TS 100.0 TOP & BOTTOM OF STEPS  
BS 100.0
- + TC 100.0 TOP & BOTTOM OF CURB  
BC 100.0
- + TCL 100.0 TOP OF COLUMN  
(APPROXIMATE - ADJUST AS NEEDED)
- [Symbol] DI 100.0 TOP OF DRAIN INLET ELEVATION
- 1% PROPOSED SLOPE PERCENTAGE
- [Symbol] TREE PROTECTION FENCING  
(Orange construction fencing)

MAYVIEW PLAZA  
Blowing Rock, NC



HAFAM NC 1128, LLC  
B.O.R. 1374, Pg. 167

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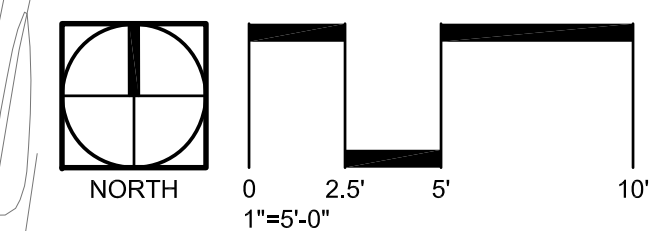
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CONSTRUCTION

PROJECT NUMBER: 17-1108

GRADING

SHEET NUMBER

L3.0

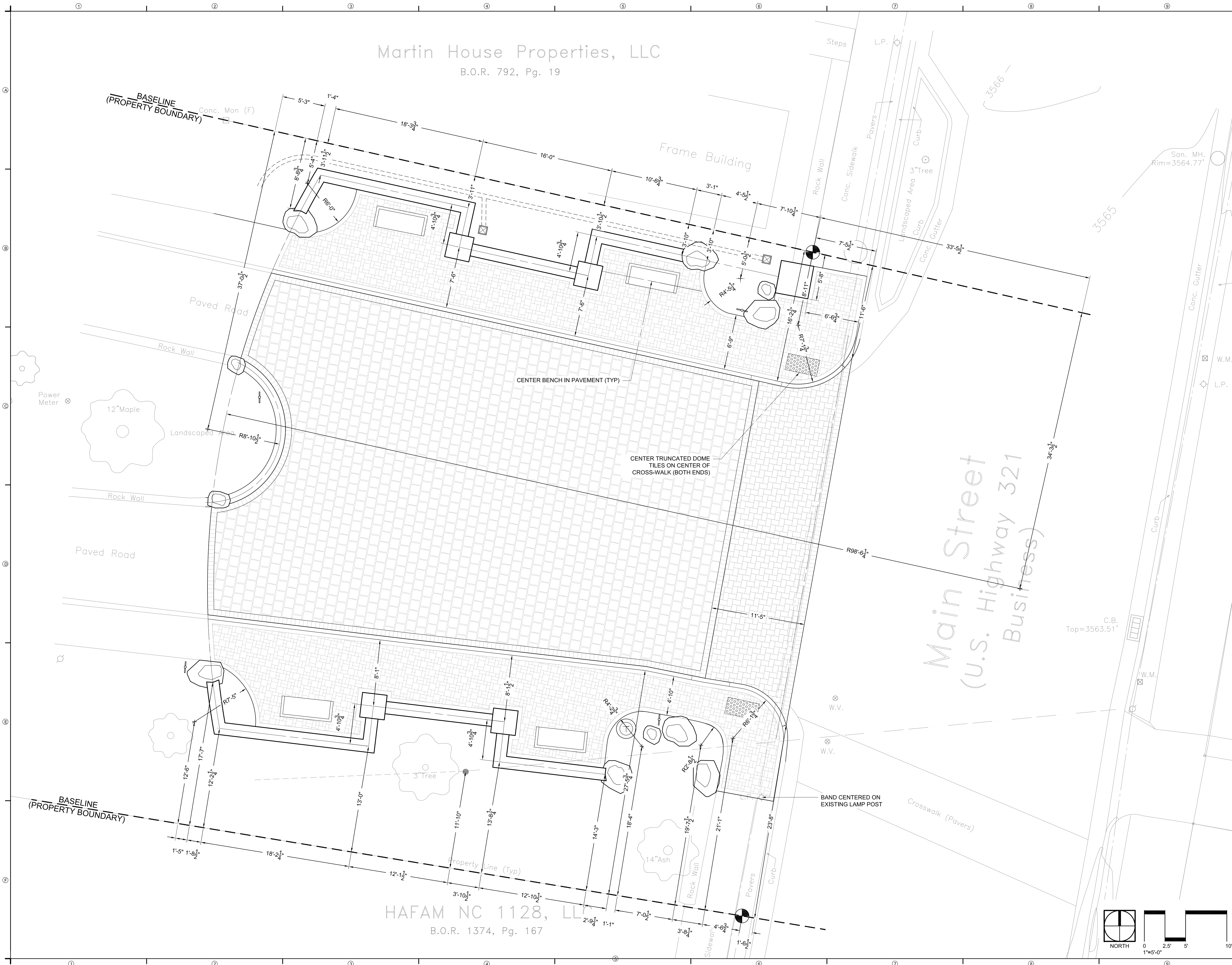


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# MAYVIEW PLAZA

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**LAYOUT PLAN**

SHEET NUMBER

**L4.0**

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# MAYVIEW PLAZA

Blowing Rock, NC

## PATTERN & SYMBOL LEGEND

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	PEDESTRIAN PAVERS	EAGLE BAY KINGSLAND; COLOR: BULL RUN
	PEDESTRIAN CROSSING	EAGLE BAY COTTAGESTONE; COLOR: BULL RUN
	CONCRETE PAVING W/ SCORE JOINTING	MATCH EXISTING
	SITE BENCH	BY OTHERS - CONSULT WITH LANDSCAPE ARCHITECT ON BENCH STYLE AS LEVELING MEASURES MAY BE REQUIRED
	TRASH RECEPTICAL	BY OTHERS
	POLE LIGHT	BY OTHERS
	SIGNAGE	BY OTHERS
	DRAIN INLET	SEE DETAIL 8/L7.2
	MULCH	DOUBLE GROUND HARDWOOD
	LANDSCAPE BOULDER	WEATHERED GRANITE OR SANDSTONE SEE DETAIL 9/L7.2

Main Street  
(U.S. Highway 321  
Business)

ISSUE DATE: 01.30.2018

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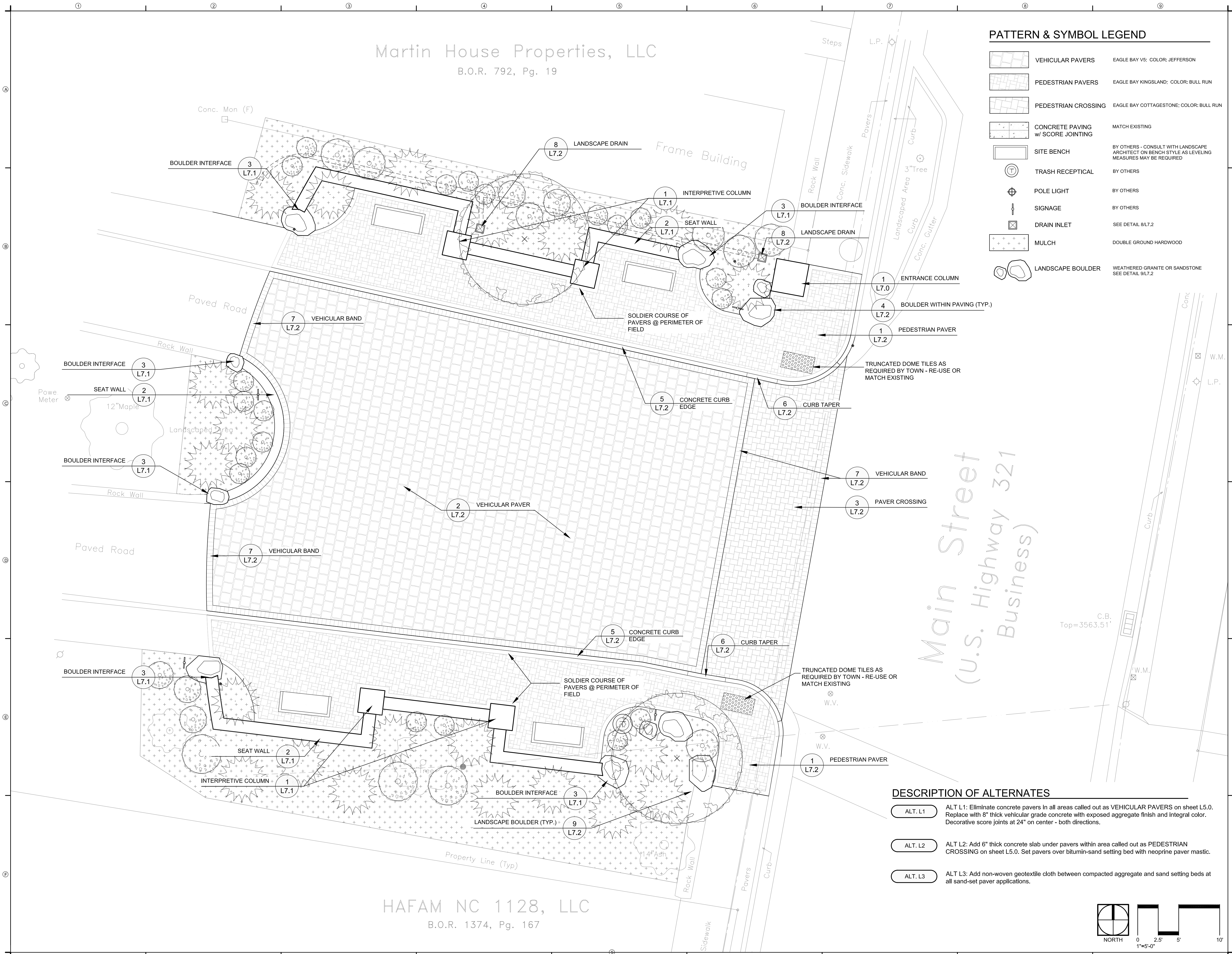
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PROJECT NUMBER: 17-1108

## MATERIALS PLAN

SHEET NUMBER

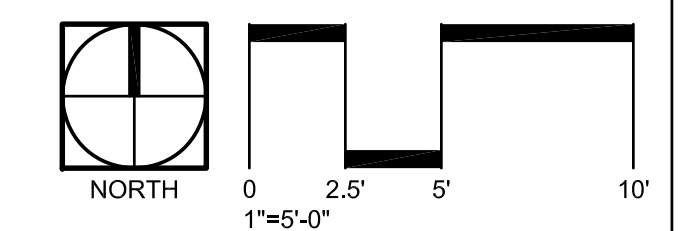
# L5.0



## DESCRIPTION OF ALTERNATES

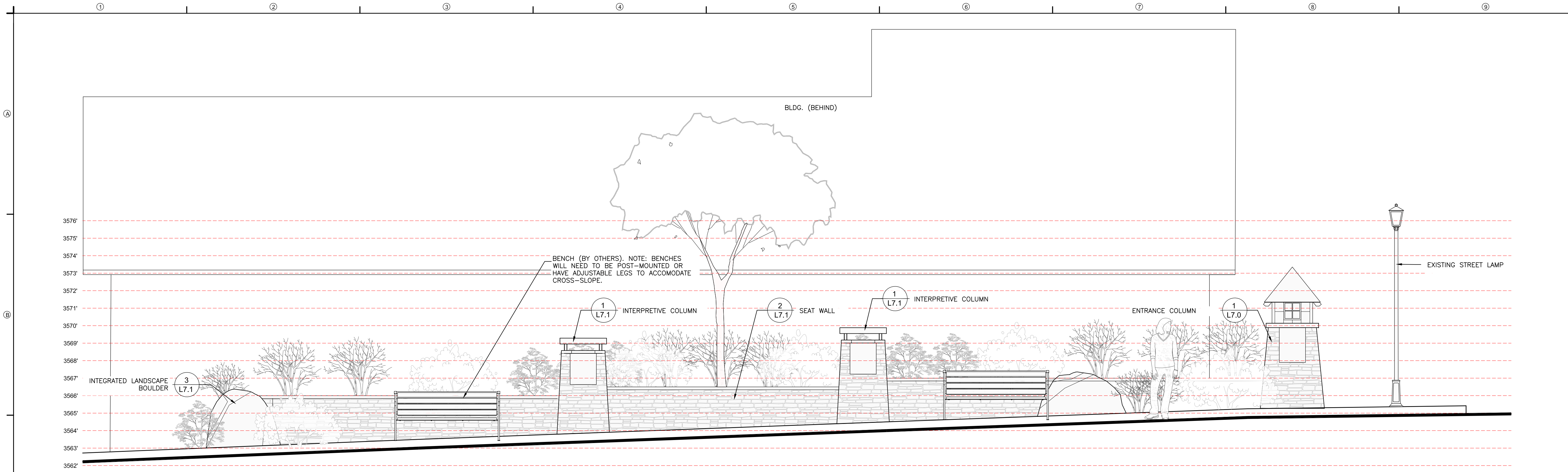
- ALT. L1** ALT L1: Eliminate concrete pavers in all areas called out as VEHICULAR PAVERS on sheet L5.0. Replace with 8" thick vehicular grade concrete with exposed aggregate finish and integral color. Decorative score joints at 24" on center - both directions.
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- ALT. L3** ALT L3: Add non-woven geotextile cloth between compacted aggregate and sand setting beds at all sand-set paver applications.

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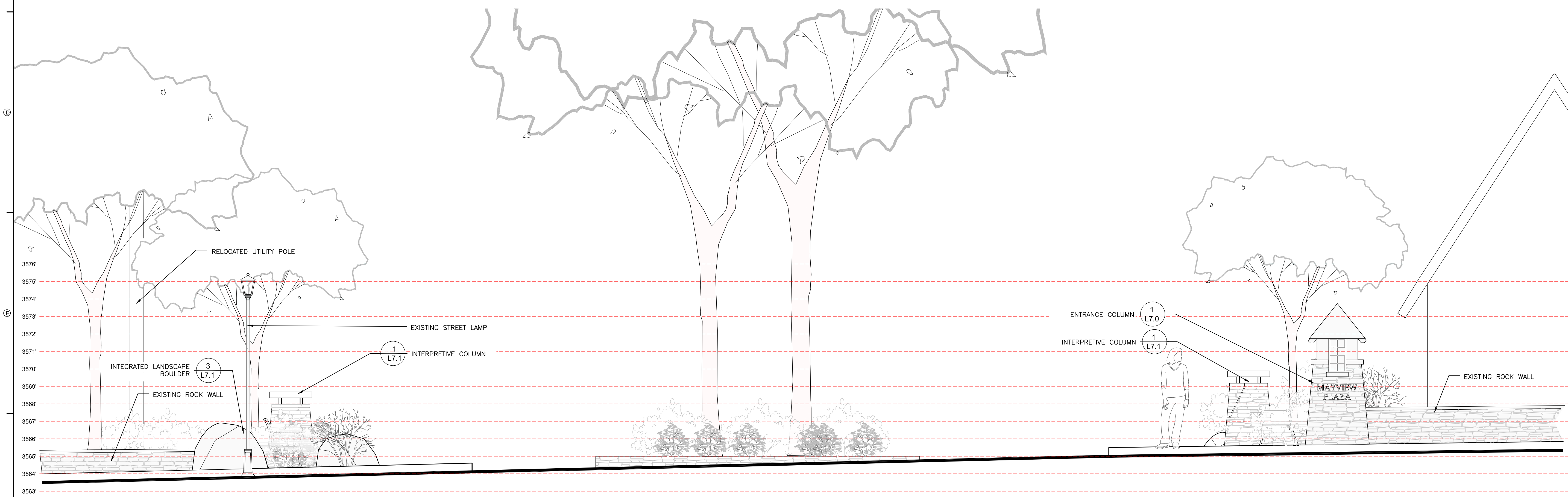




**MAYVIEW PLAZA**  
Blowing Rock, NC



**A** ELEVATION - VIEW NORTH  
SCALE: 1/8" = 1'-0" NOTE: THIS SECTION / ELEVATION ONLY DEPICTS DESIGN INTENT AND IS NOT FOR CONSTRUCTION PURPOSES. PLEASE REFER TO PLANS AND DETAILS



**B** ELEVATION - VIEW WEST FROM MAIN STREET  
SCALE: 1/8" = 1'-0" NOTE: THIS SECTION / ELEVATION ONLY DEPICTS DESIGN INTENT AND IS NOT FOR CONSTRUCTION PURPOSES. PLEASE REFER TO PLANS AND DETAILS

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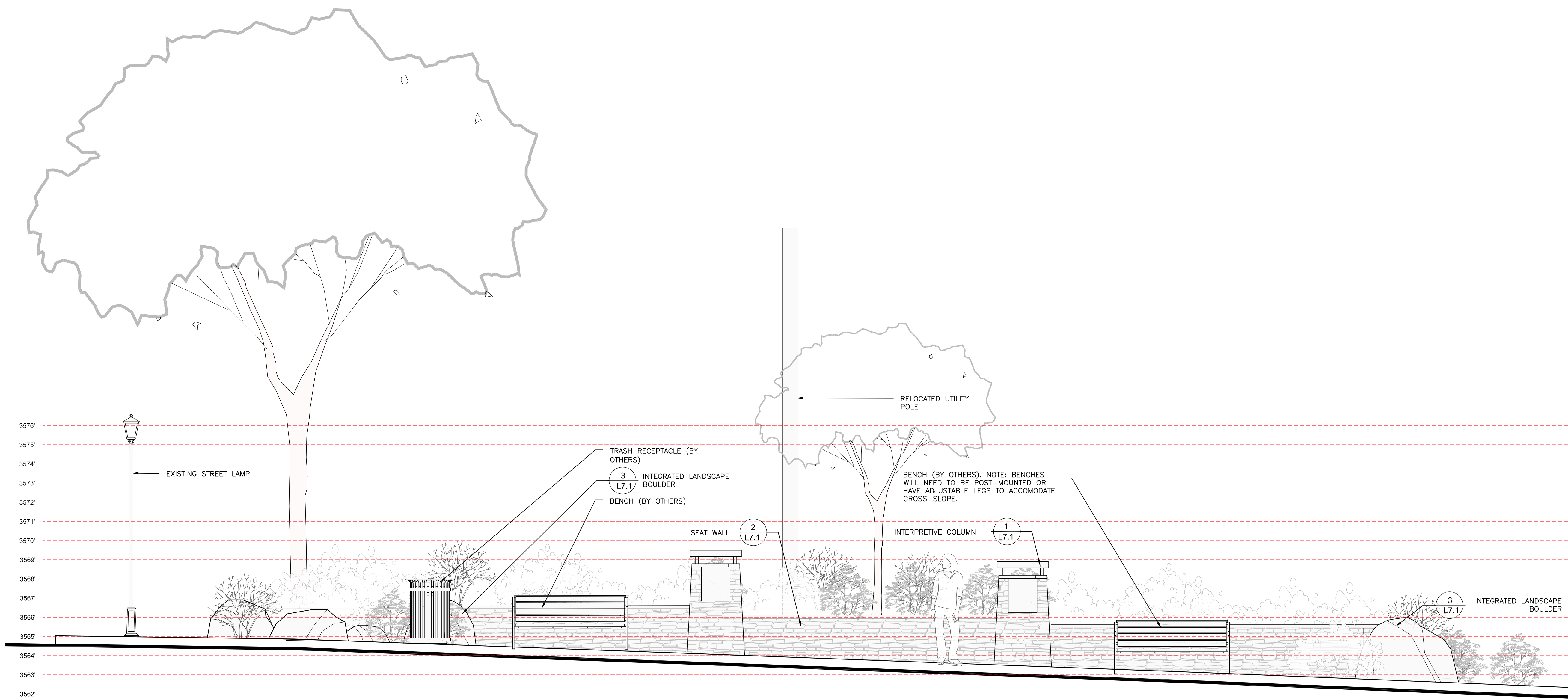
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**MAYVIEW PLAZA**  
Blowing Rock, NC



**C ELEVATION - VIEW SOUTH**  
SCALE: 1/3" = 1'-0" NOTE: THIS SECTION / ELEVATION ONLY DEPICTS DESIGN INTENT AND IS NOT FOR CONSTRUCTION PURPOSES. PLEASE REFER TO PLANS AND DETAILS

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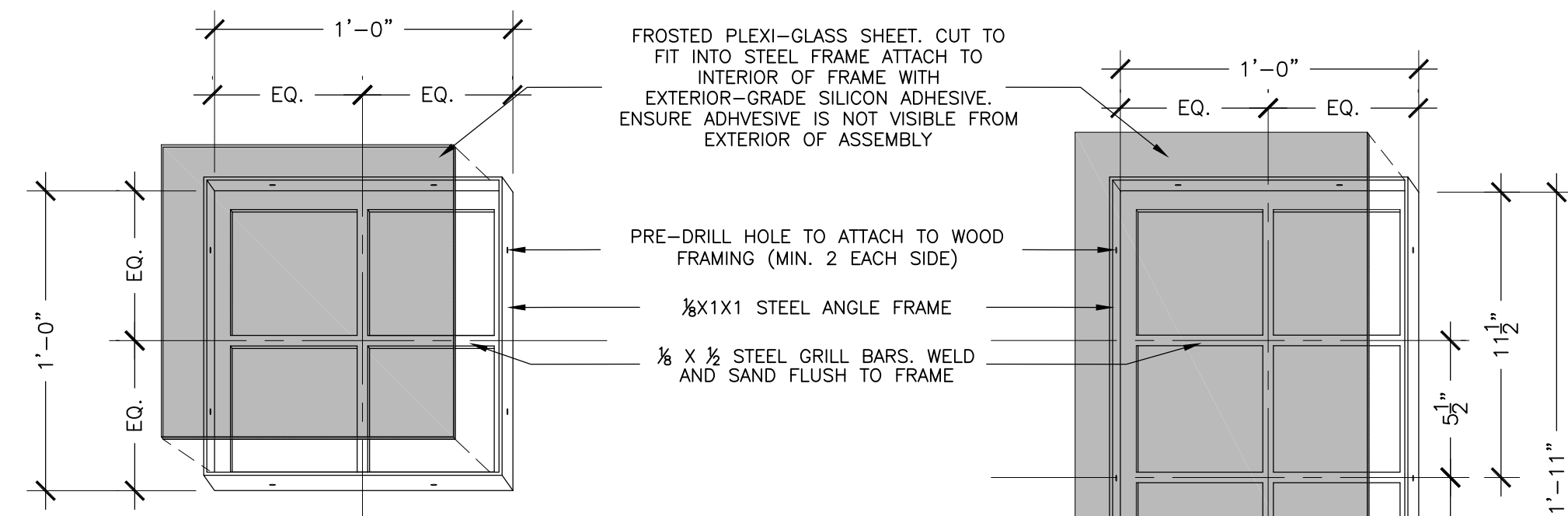
PROJECT NUMBER: 17-1108

**ELEVATIONS**

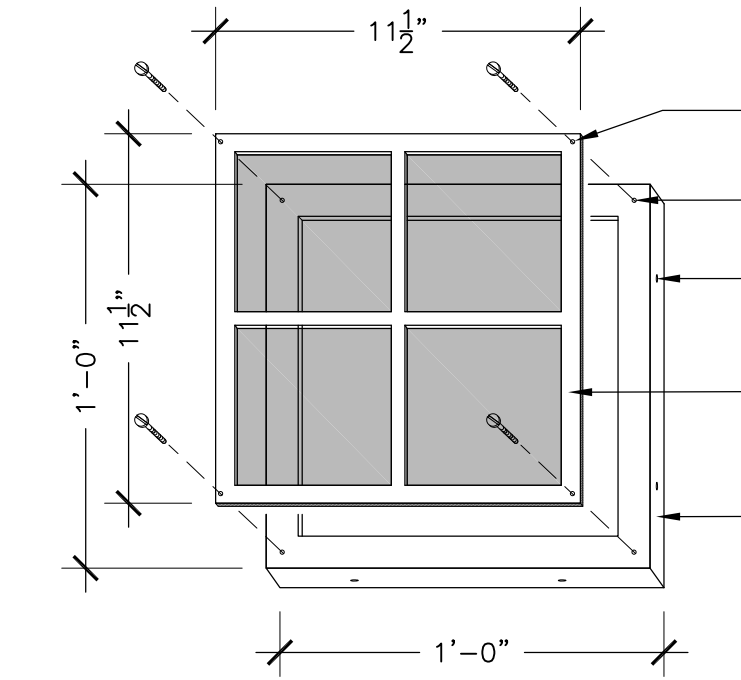
SHEET NUMBER

**L6.1**

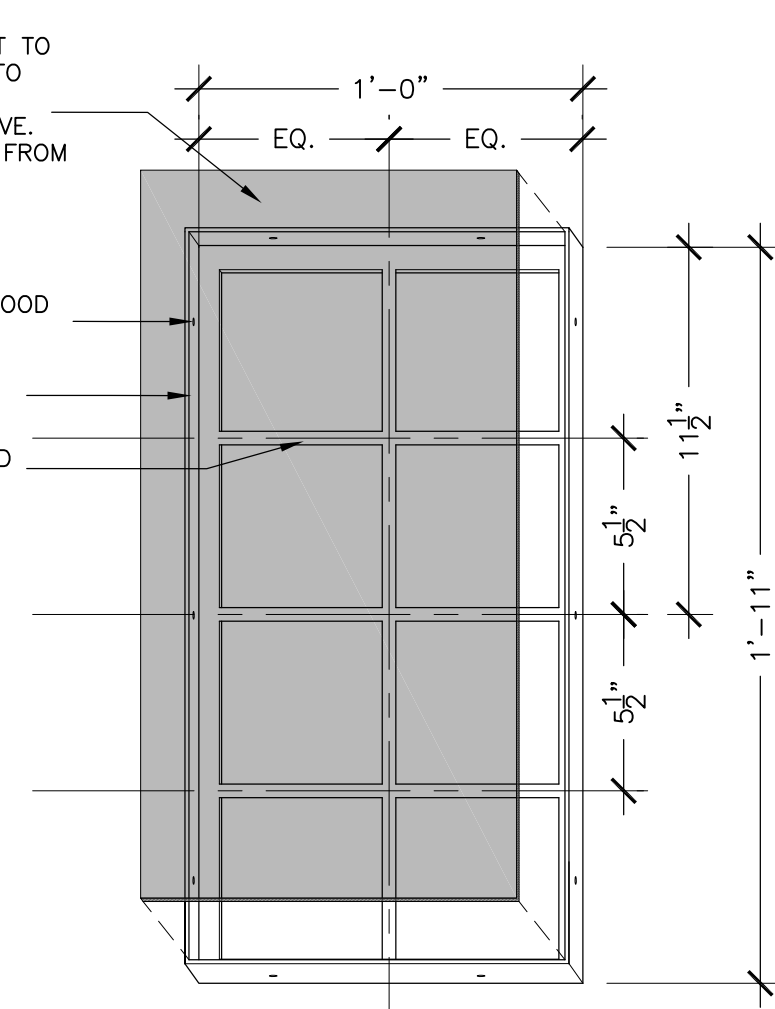
MAYVIEW PLAZA  
Blowing Rock, NC



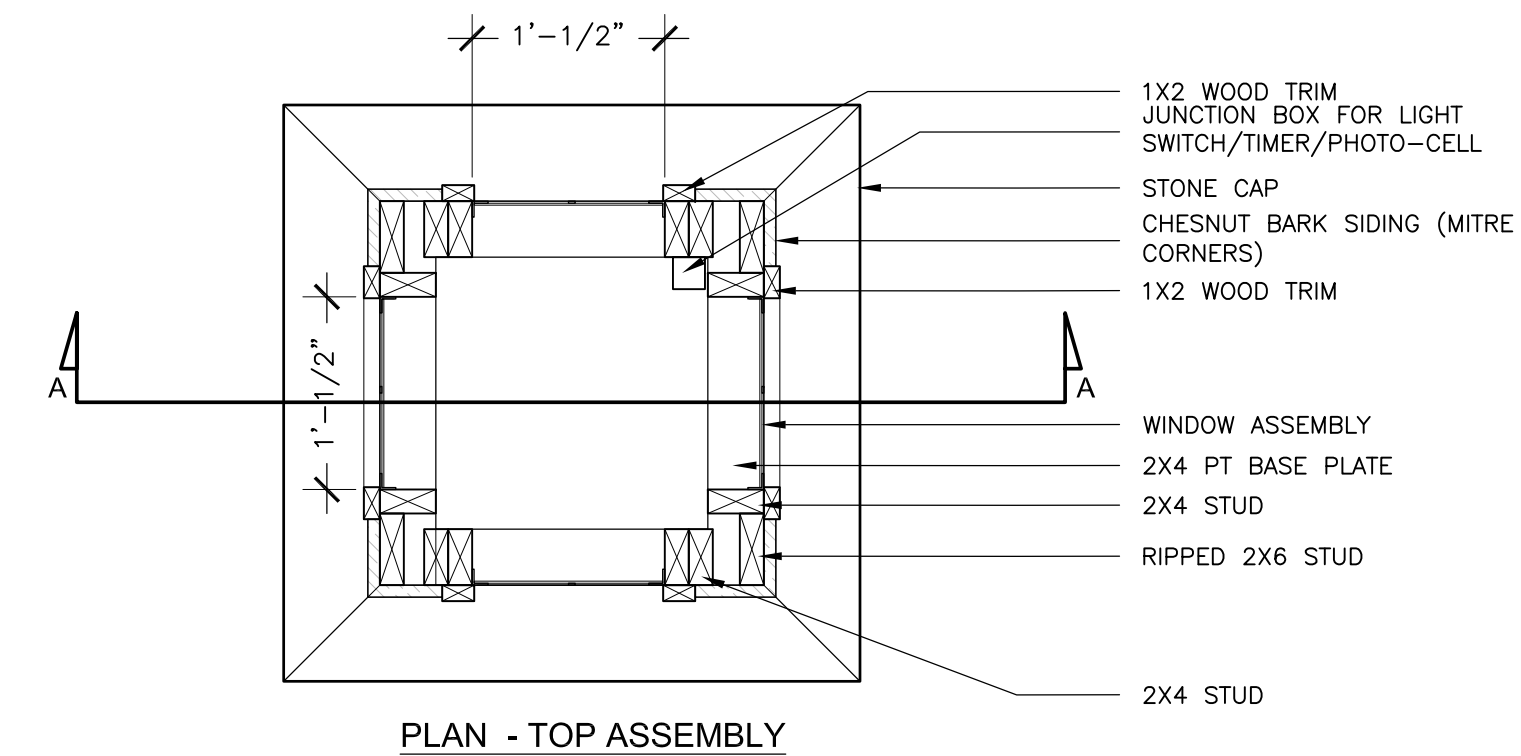
FIXED WINDOW PANEL A - INTERIOR VIEW  
(SOUTH SIDE OF COLUMN)



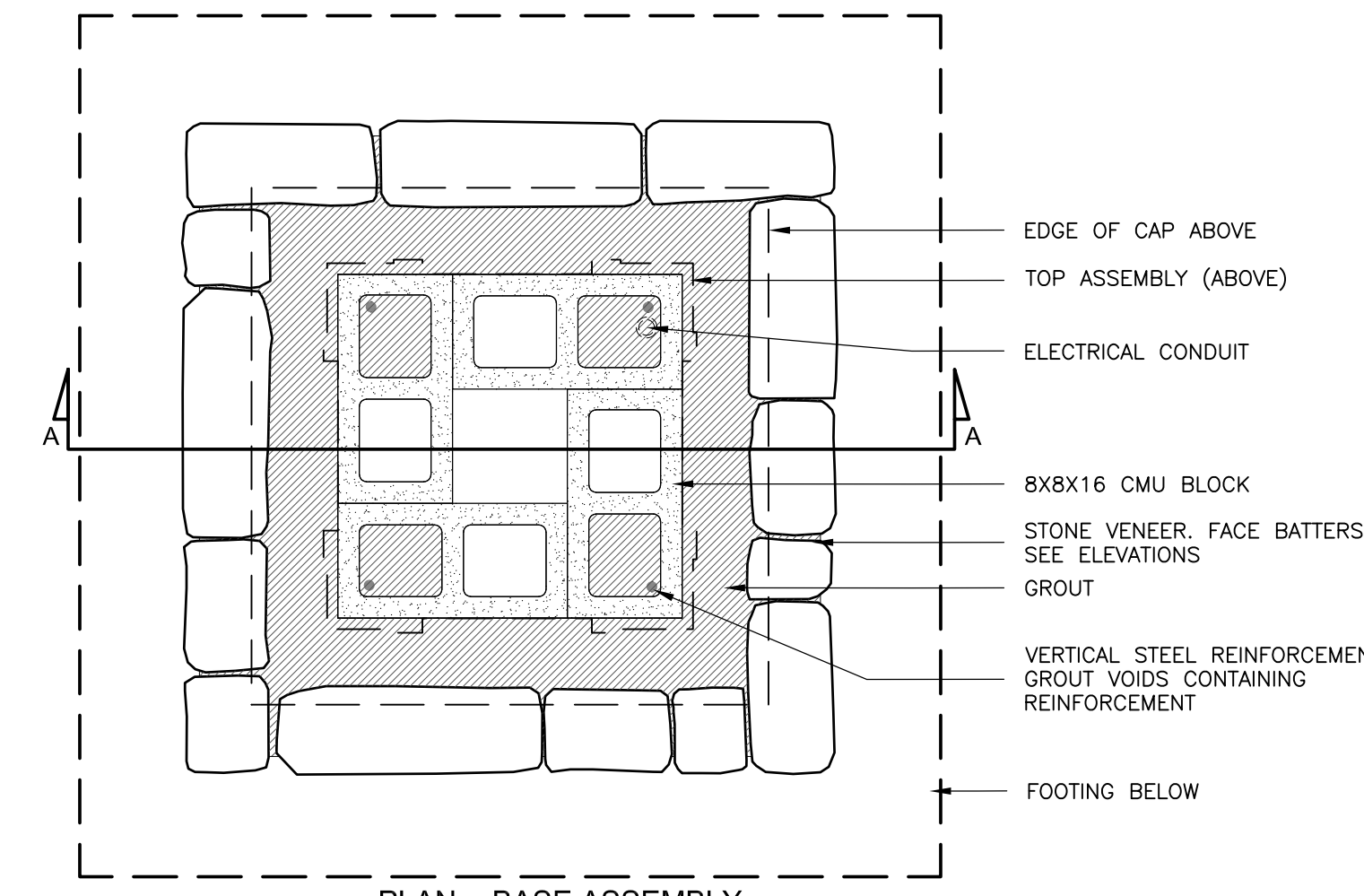
REMOVABLE WINDOW PANEL C - FRONT VIEW  
(NORTH SIDE OF COLUMN ONLY)



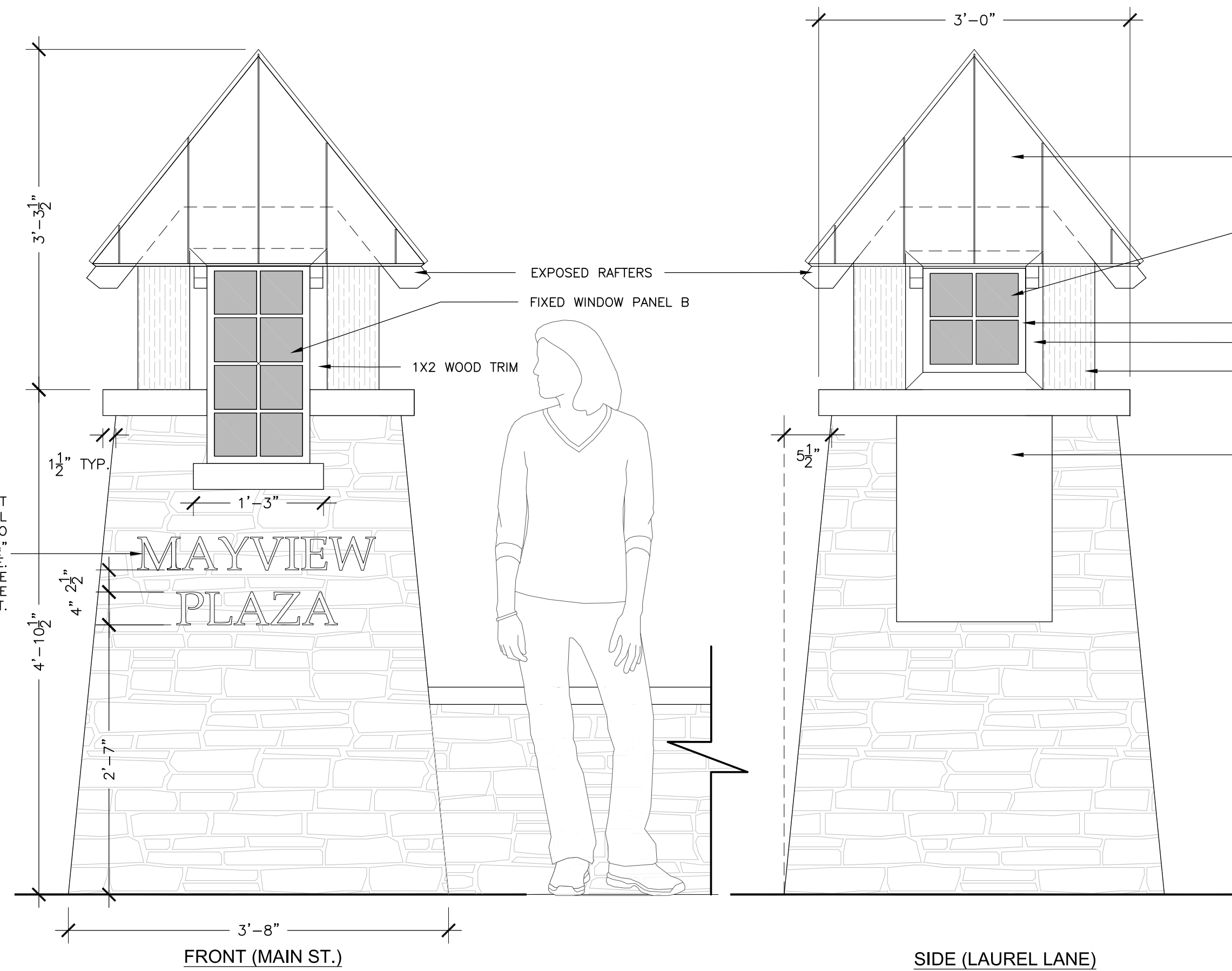
FIXED WINDOW PANEL B - INTERIOR VIEW  
(EAST & WEST SIDE OF COLUMN)



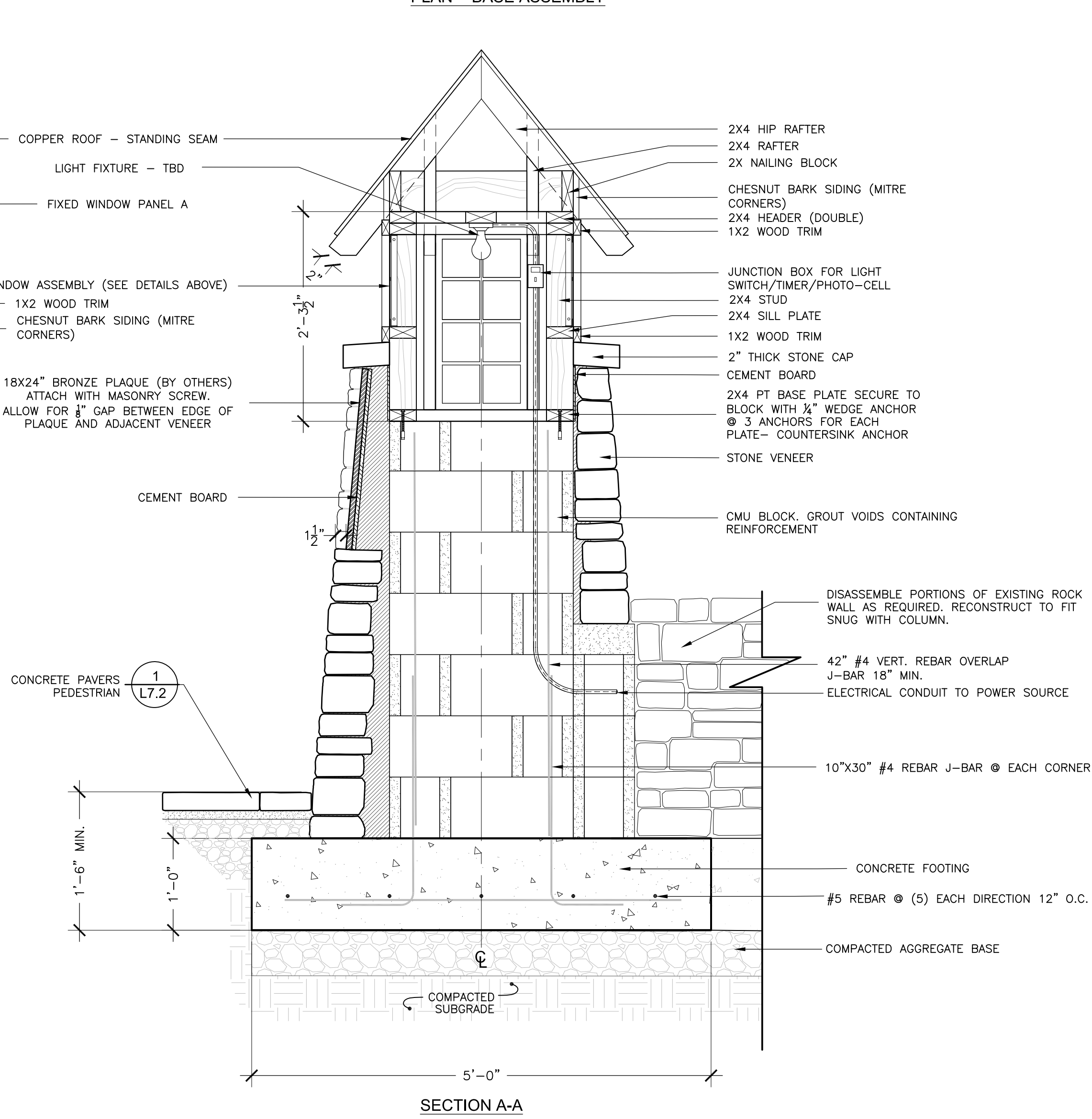
PLAN - TOP ASSEMBLY



PLAN - BASE ASSEMBLY



- NOTES:  
1. VENEER STONE: TYPE & PATTERN TO MATCH EXISTING ROCK WALLS ALONG LAUREL LANE  
2. CAP STONE: TBD  
3. ALL STEEL TO BE POWDER-COATED. COLOR: TBD  
4. WOOD TRIM TYPE AND FINISH: TBD  
5. CHESNUT BARK SIDING: NATURAL OR SMARTBARK - SEE <http://www.borkstad.com>. ALTERNATIVE PRODUCTS MAY BE PRESENTED TO LANDSCAPE ARCHITECT FOR REVIEW



SECTION A-A

ISSUE DATE: 01.16.2018

REVISIONS

#	DATE	DESCRIPTION

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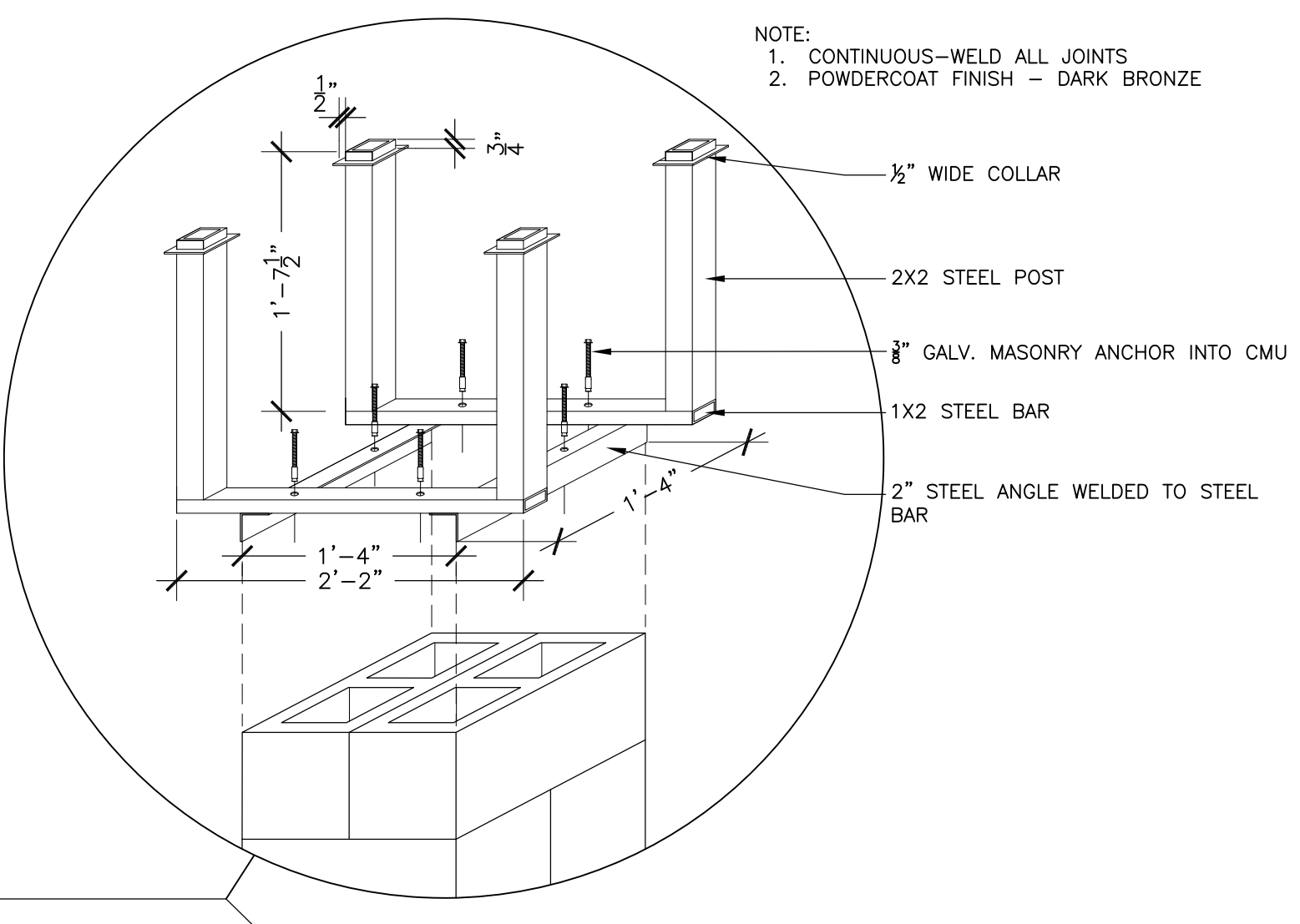
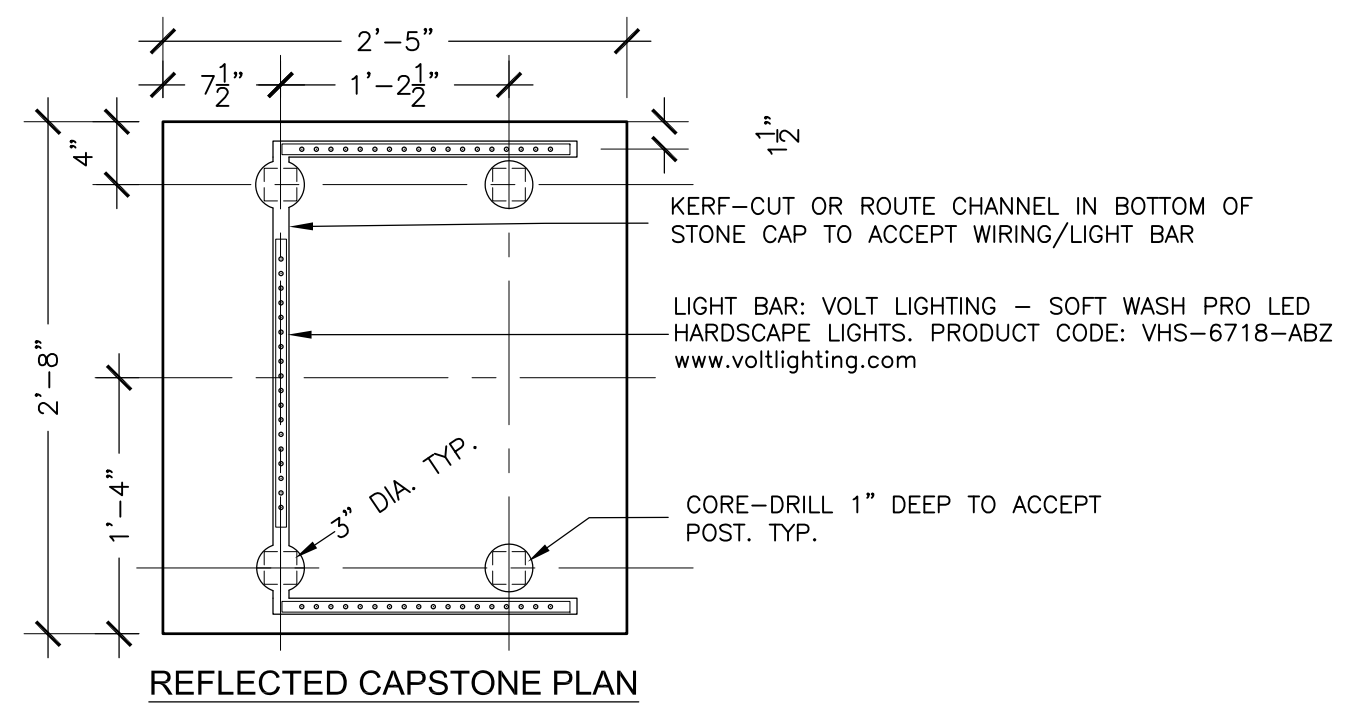
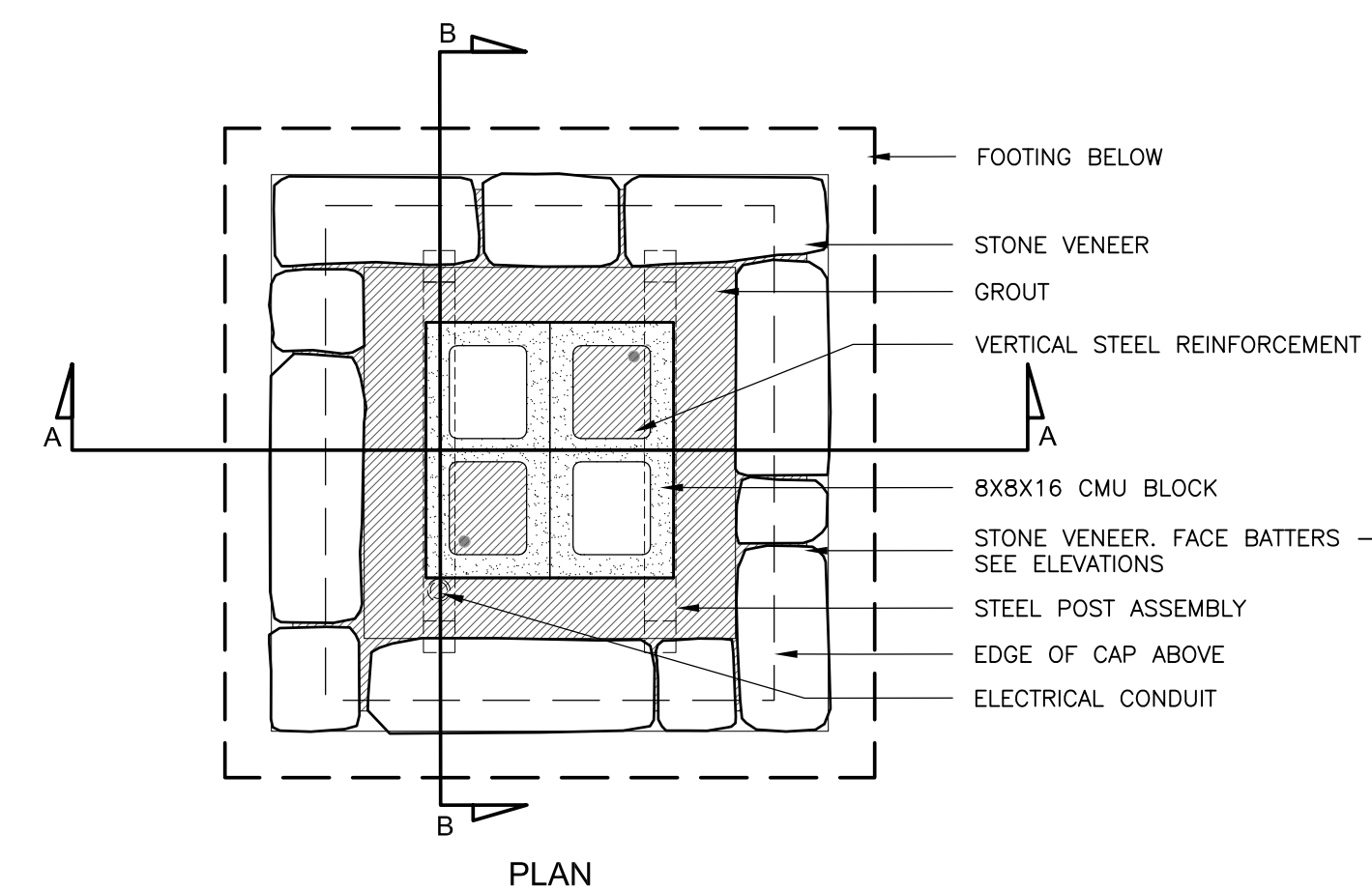
DETAILS

SHEET NUMBER

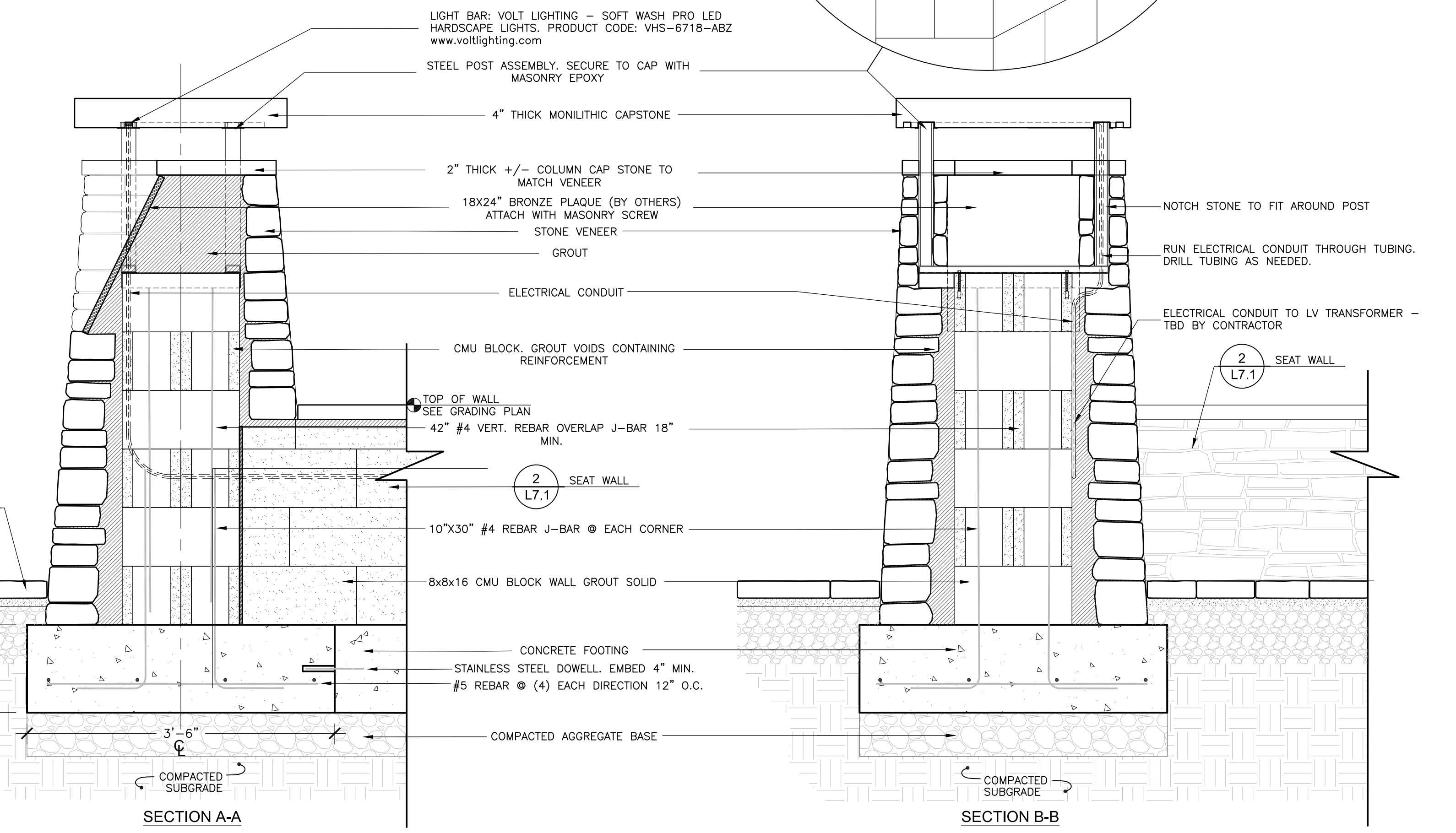
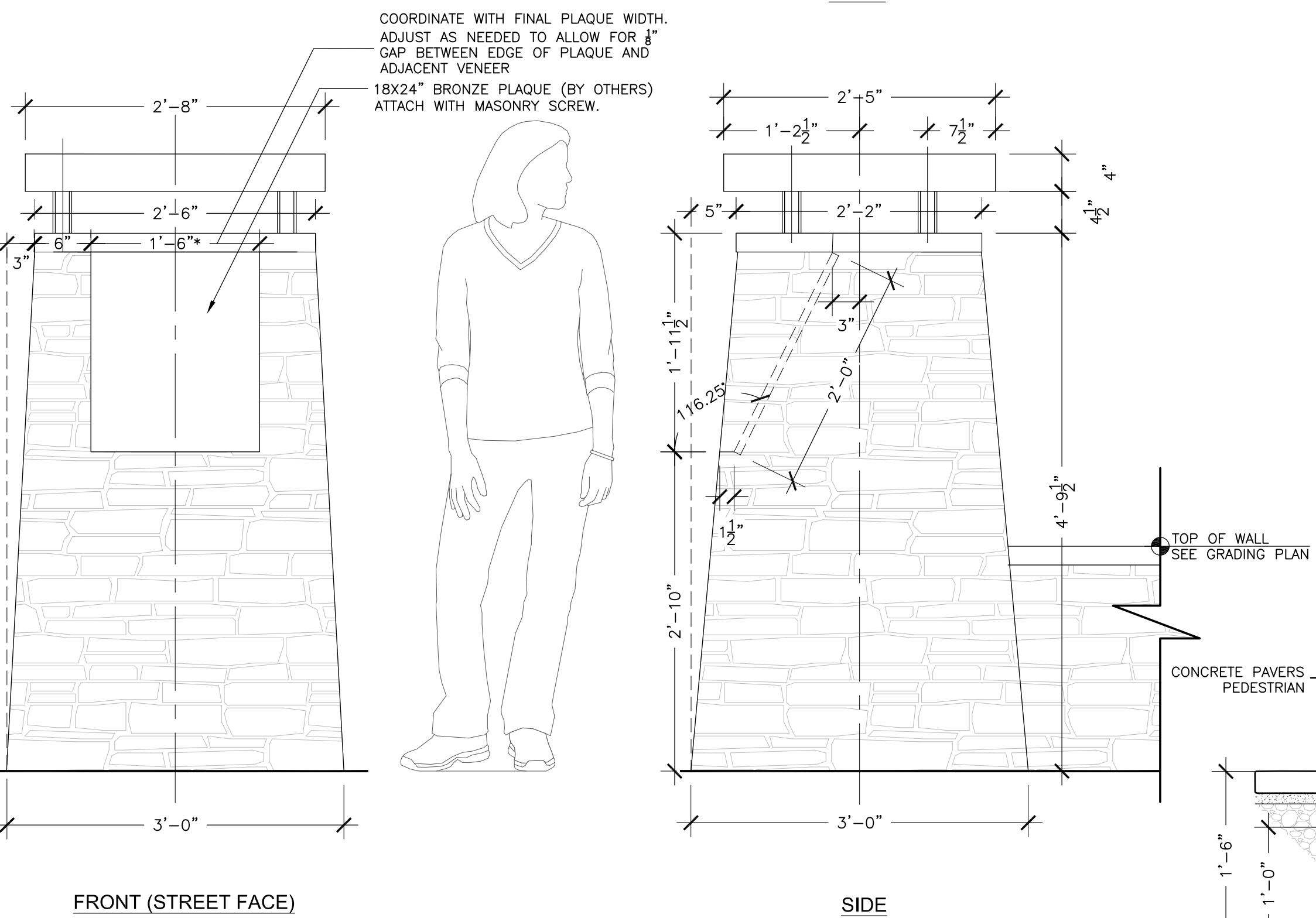
L7.0

**MAYVIEW PLAZA**  
Blowing Rock, NC

NOTES:  
1. VENEER STONE: TYPE & PATTERN TO MATCH EXISTING ROCK WALLS ALONG LAUREL LANE  
2. CAP STONE: TBD

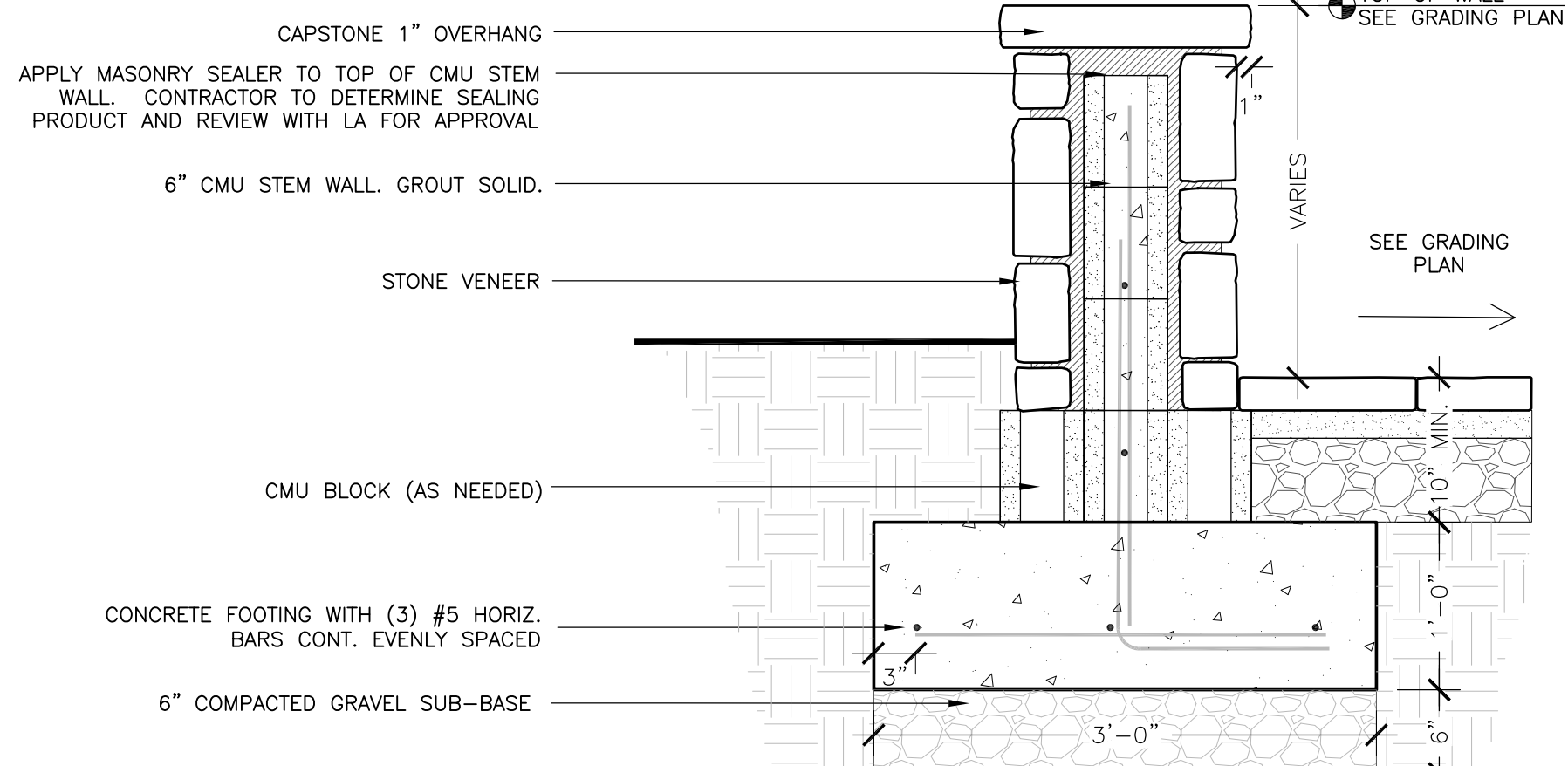


NOTE:  
1. CONTINUOUS-WELD ALL JOINTS  
2. POWDERCOAT FINISH - DARK BRONZE



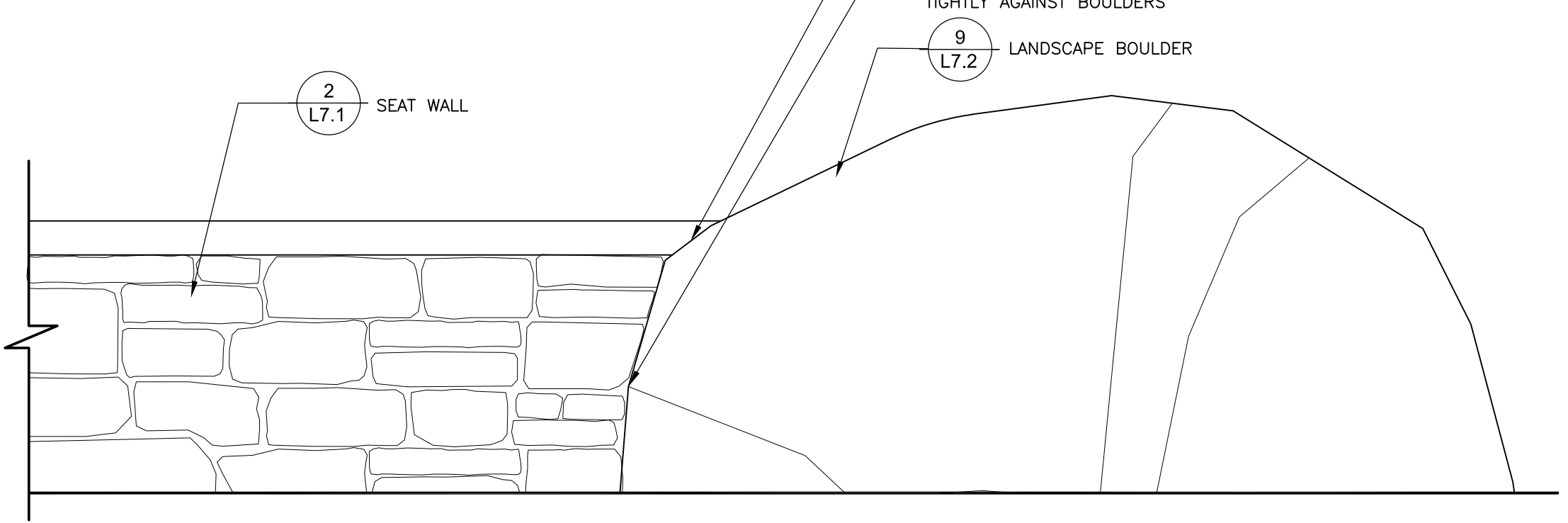
**1 Interpretive Column Details**  
1"=1'-0"

NOTES:  
1. CAPSTONE: 3" THICK NATURAL STONE  
2. STONE VENEER: TO MATCH EXISTING ROCK WALLS  
3. PROVIDE MOCK-UP TO BE REVIEWED AND APPROVED BY L.A. PRIOR TO FINAL INSTALLATION.



**2 Seat Wall**  
1"=1'-0"

NOTES:  
1. CONTRACTOR TO PROVIDE MOCKUP OF SECTION OF WALL INCLUDING BOULDER INSET FOR REVIEW BY LANDSCAPE ARCHITECT.



**3 Boulder Interface with Wall**  
1/2"=1'-0"

ISSUE DATE: 01.30.2018

REVISIONS #	DATE	DESCRIPTION

DRAWN: \_\_\_\_\_ REVIEWED: \_\_\_\_\_

**PRICING SET  
NOT FOR  
CONSTRUCTION**

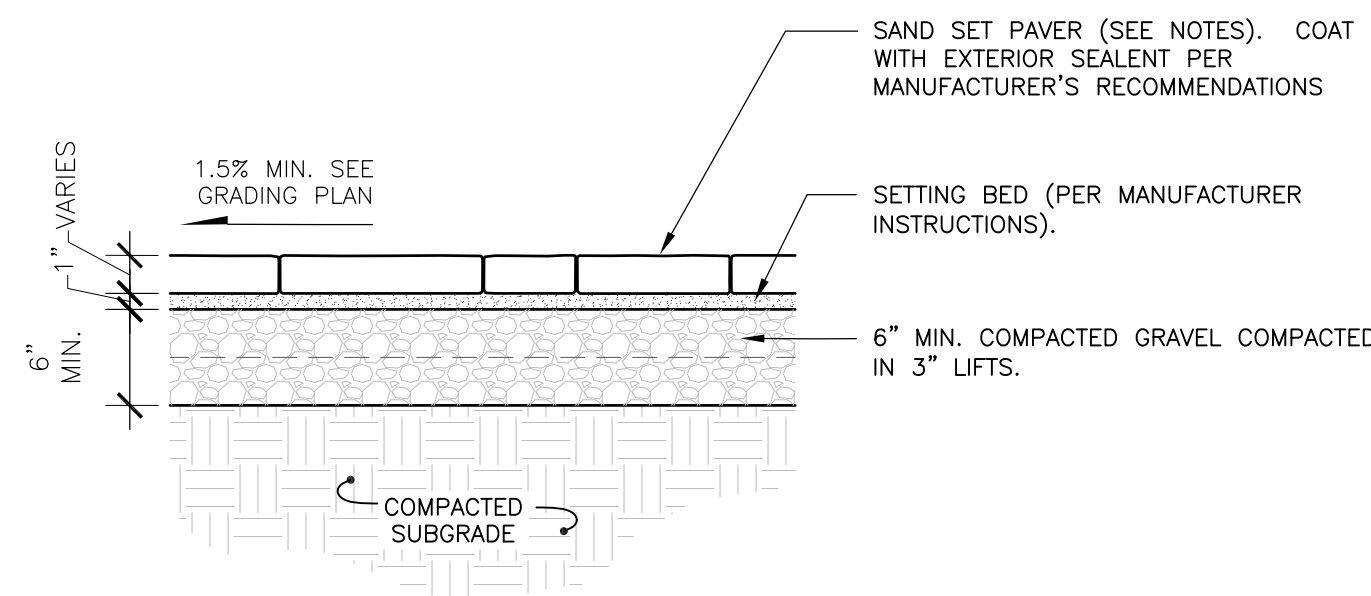
PROJECT NUMBER: 17-1108

**DETAILS**

SHEET NUMBER  
**L7.1**

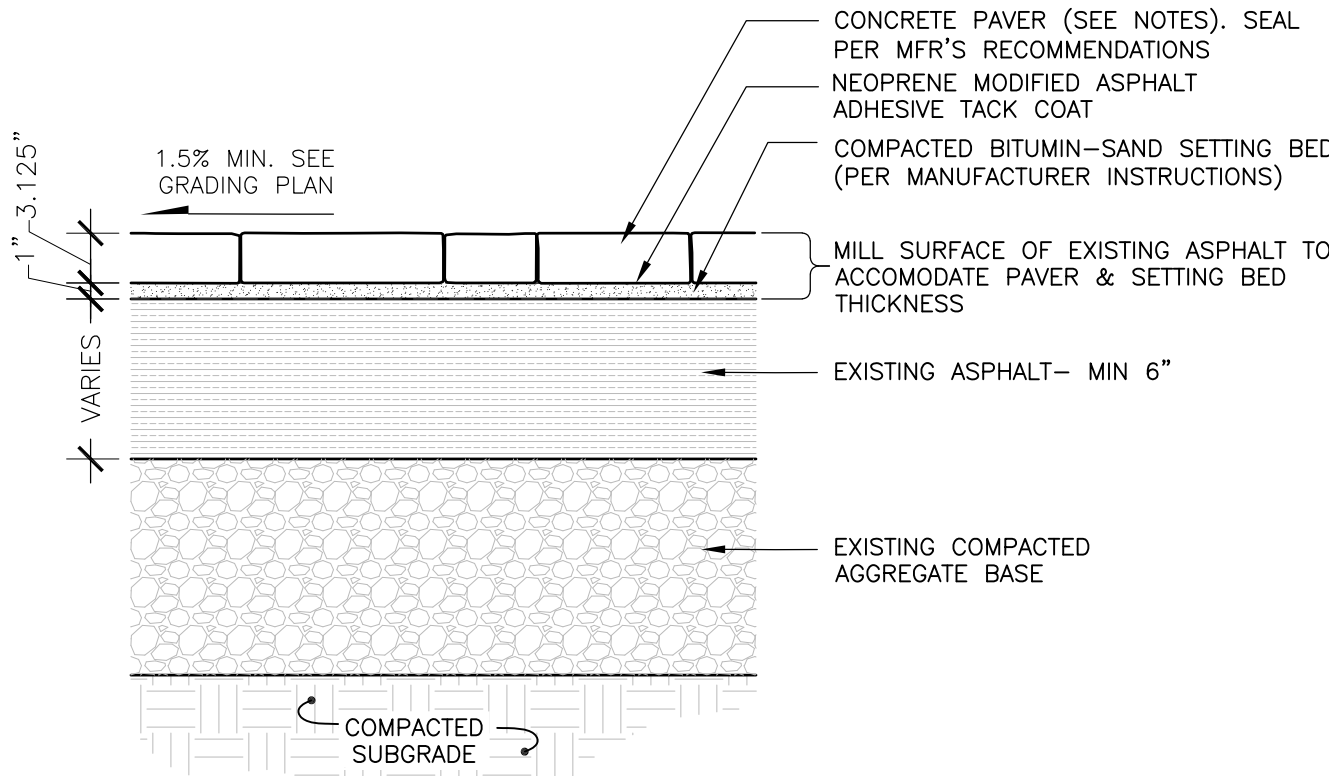
MAYVIEW PLAZA  
Blowing Rock, NC

- NOTES:  
1. CONCRETE PAVERS  
PRODUCT: EAGLE BAY KINGSLAND;  
TYPE: 60MM (PEDESTRIAN)  
COLOR: BULL RUN  
PATTERN: TBD BASED ON MOCK-UP (OPTIONS - MODULAR 2 & LINEAR 3)  
2. BUTT PAVERS TIGHT. SWEEP JOINTS WITH POLYMERIC SAND (TO MATCH COLOR TONE OF PAVERS)  
3. PROVIDE 4'x4' MOCK-UP FOR ALL PAVER TYPES. MOCK-UP TO BE REVIEWED AND APPROVED BY L.A. PRIOR TO FINAL INSTALLATION.



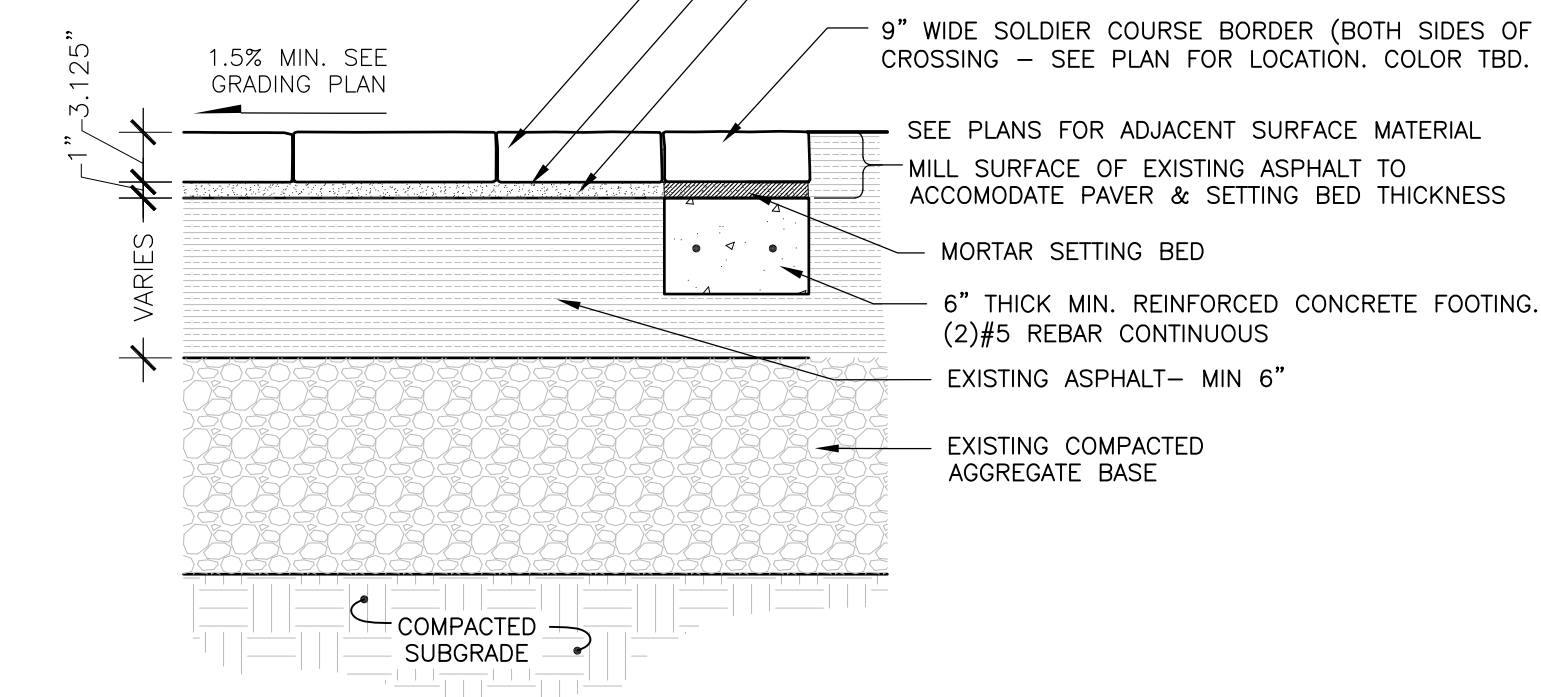
**1** Concrete Pavers Sand-Set - Pedestrian  
1"=1'-0"

- NOTES:  
1. CONCRETE PAVERS  
PRODUCT: EAGLE BAY V5  
TYPE: 80MM (VEHICULAR)  
COLOR: JEFFERSON  
PATTERN: TBD BASED ON MOCK-UP (OPTIONS - MODULAR 2 & LINEAR 3)  
2. BUTT PAVERS TIGHT. SWEEP JOINTS WITH POLYMERIC SAND (TO MATCH COLOR TONE OF PAVERS)  
3. PROVIDE 4'x4' MOCK-UP FOR ALL PAVER TYPES. MOCK-UP TO BE REVIEWED AND APPROVED BY L.A. PRIOR TO FINAL INSTALLATION.



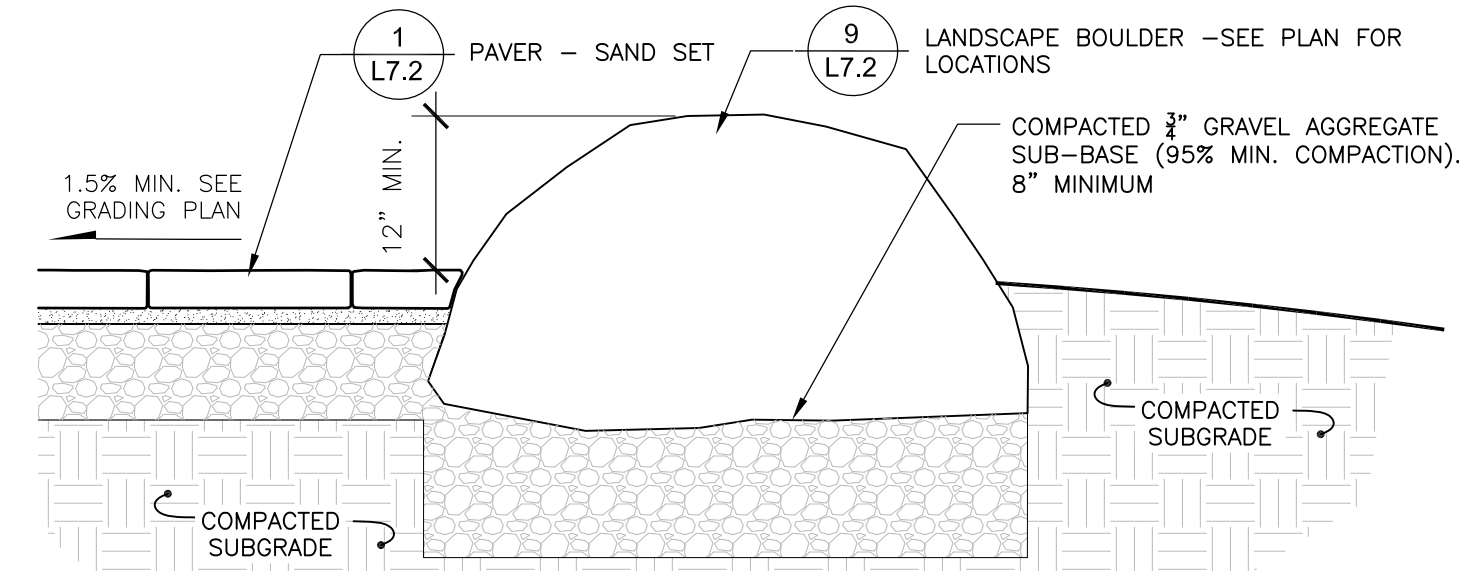
**2** Concrete Pavers Bitumin-Set - Vehicular  
1"=1'-0"

- NOTES:  
1. CONCRETE PAVERS  
PRODUCT: EAGLE BAY COTTAGESTONE  
TYPE: 80MM (VEHICULAR)  
COLOR: BULL RUN  
PATTERN: TBD BASED ON MOCK-UP  
2. BUTT PAVERS TIGHT. SWEEP JOINTS WITH POLYMERIC SAND (TO MATCH COLOR TONE OF PAVERS)  
3. PROVIDE 4'x4' MOCK-UP FOR ALL PAVER TYPES. MOCK-UP TO BE REVIEWED AND APPROVED BY L.A. PRIOR TO FINAL INSTALLATION.



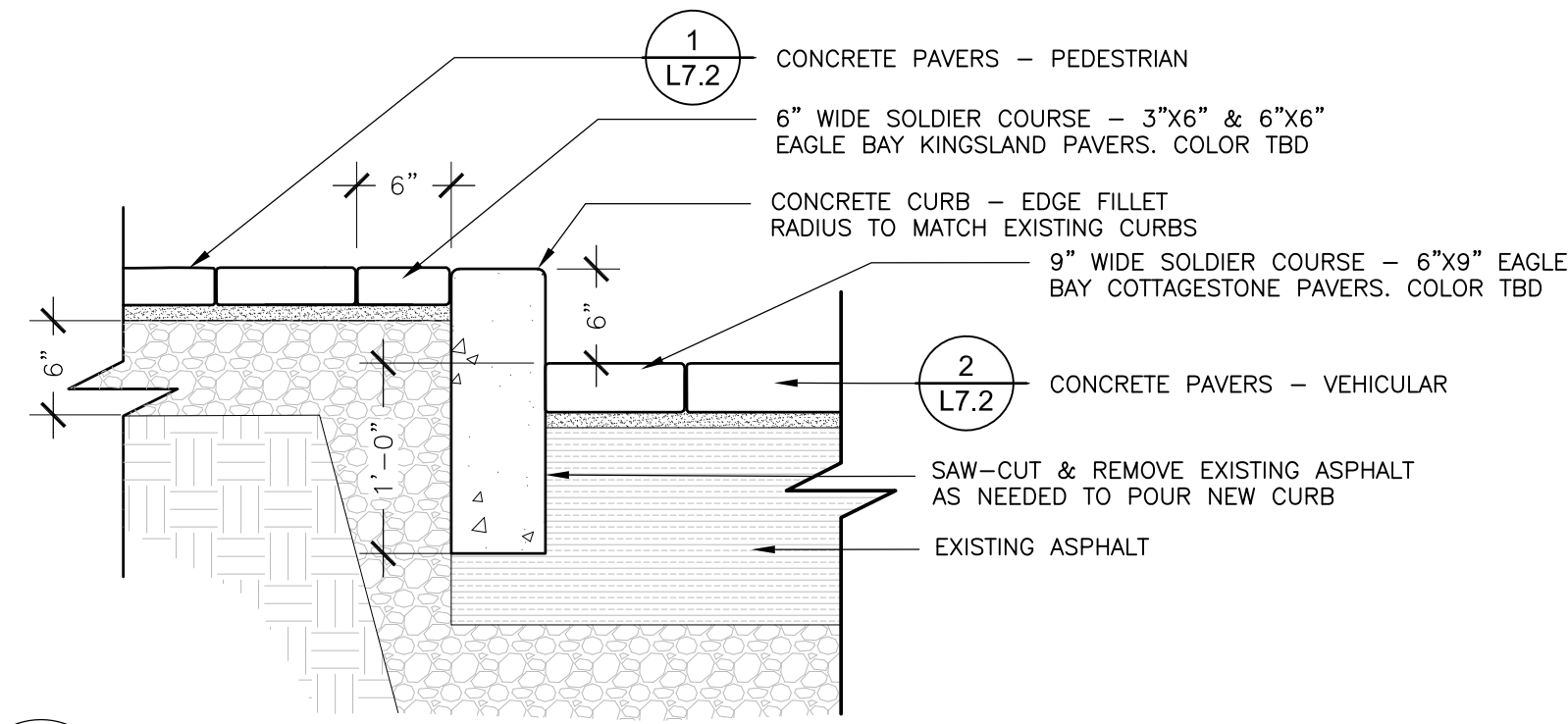
**3** Concrete Pavers @ Crossing  
1"=1'-0"

- NOTES:  
1. CONSULT WITH LANDSCAPE ARCHITECT FOR HEIGHT OF BOULDER. SEE ELEVATION DWGS. FOR DESIGN INTENT.  
2. SCRIBE-CUT PAVERS TO FIT SNUG WITH BOULDER PROFILE.  
3. PROVIDE MOCK-UP FOR LANDSCAPE ARCHITECT TO REVIEW.

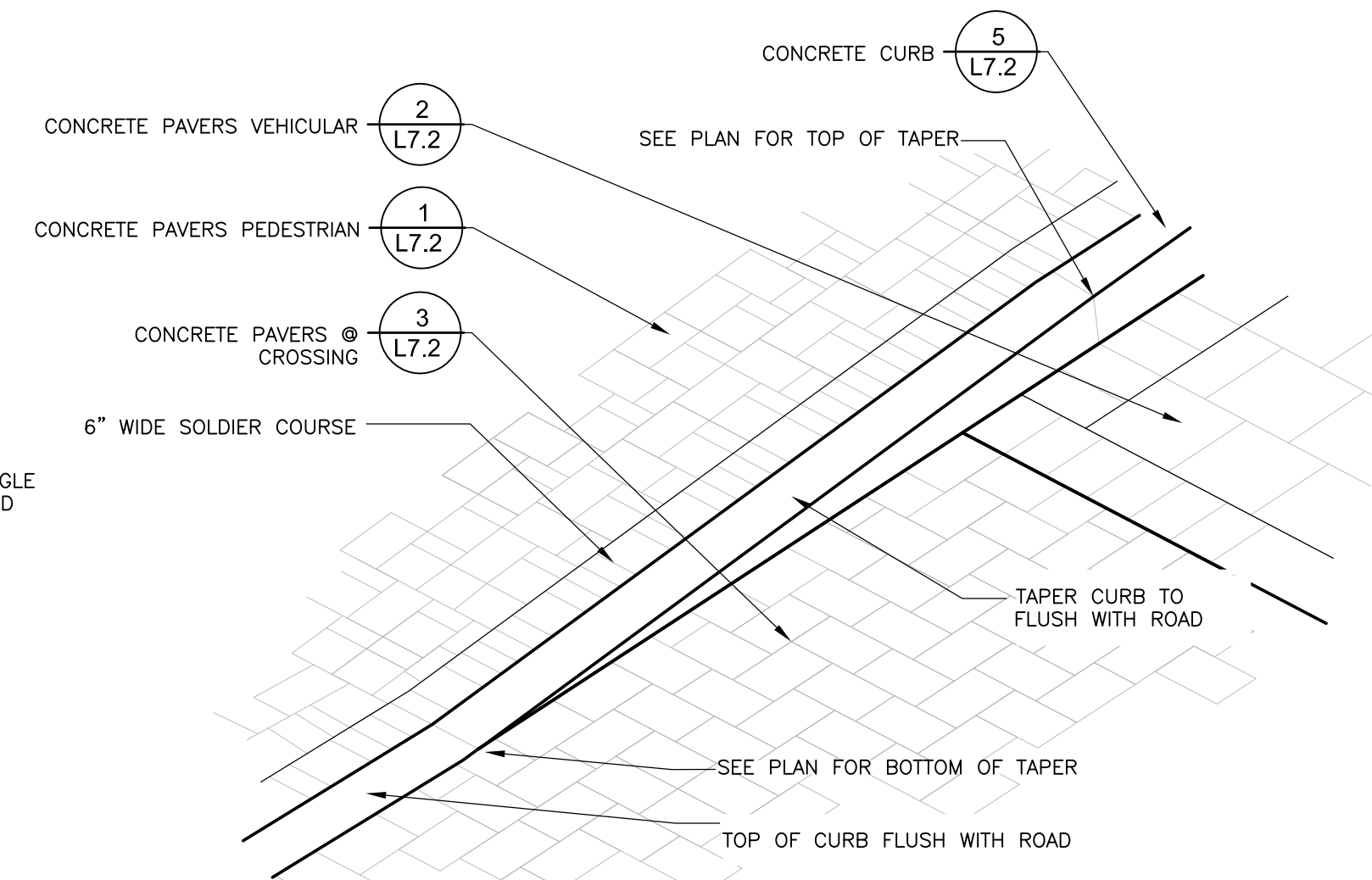


**4** Boulder within Paving  
1"=1'-0"

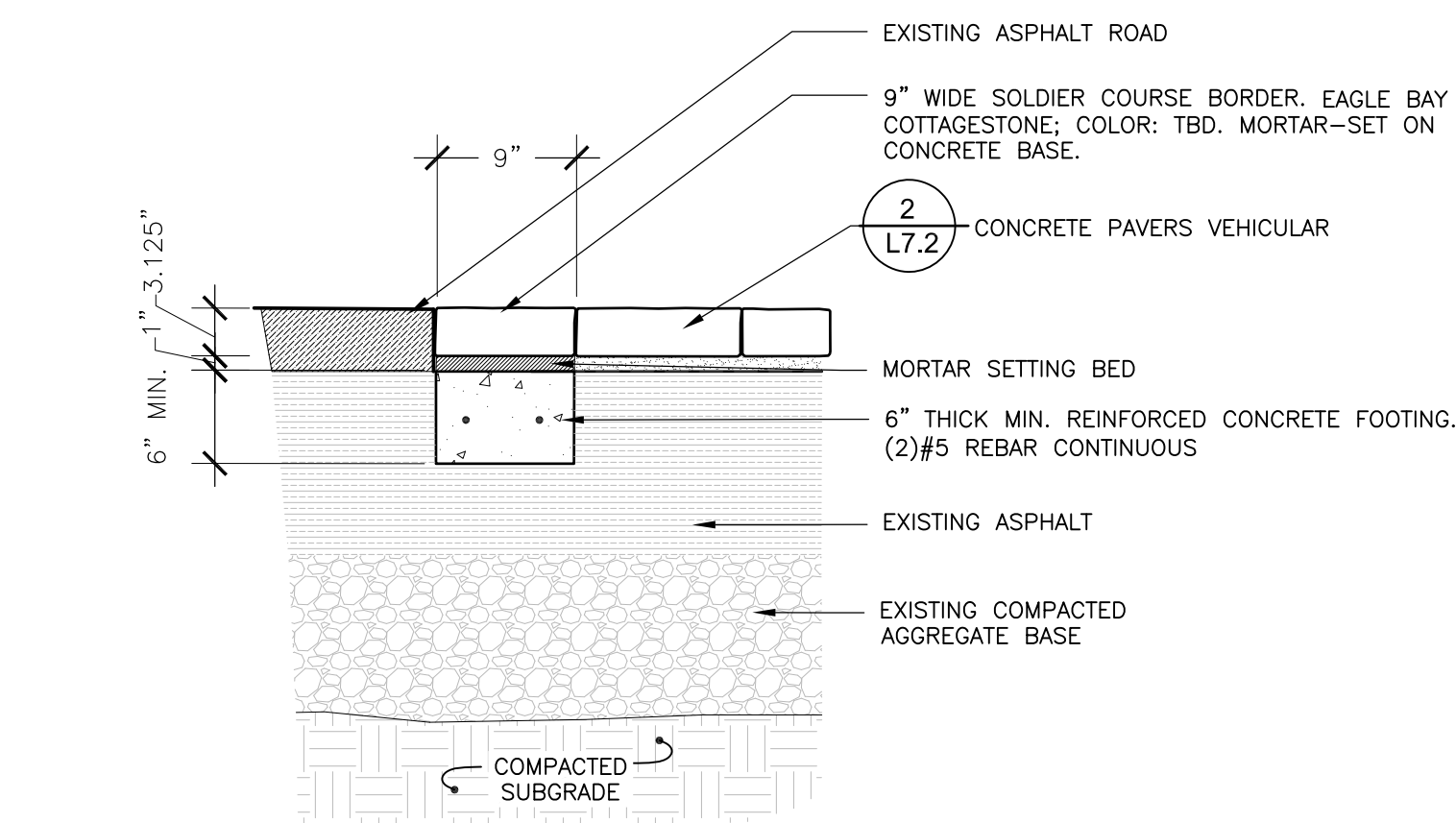
- NOTES:  
1. 1/2" EXPANSION JOINT EVERY 50'.  
2. 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM.  
3. PROVIDE MOCK-UP FOR LANDSCAPE ARCHITECT REVIEW & APPROVAL



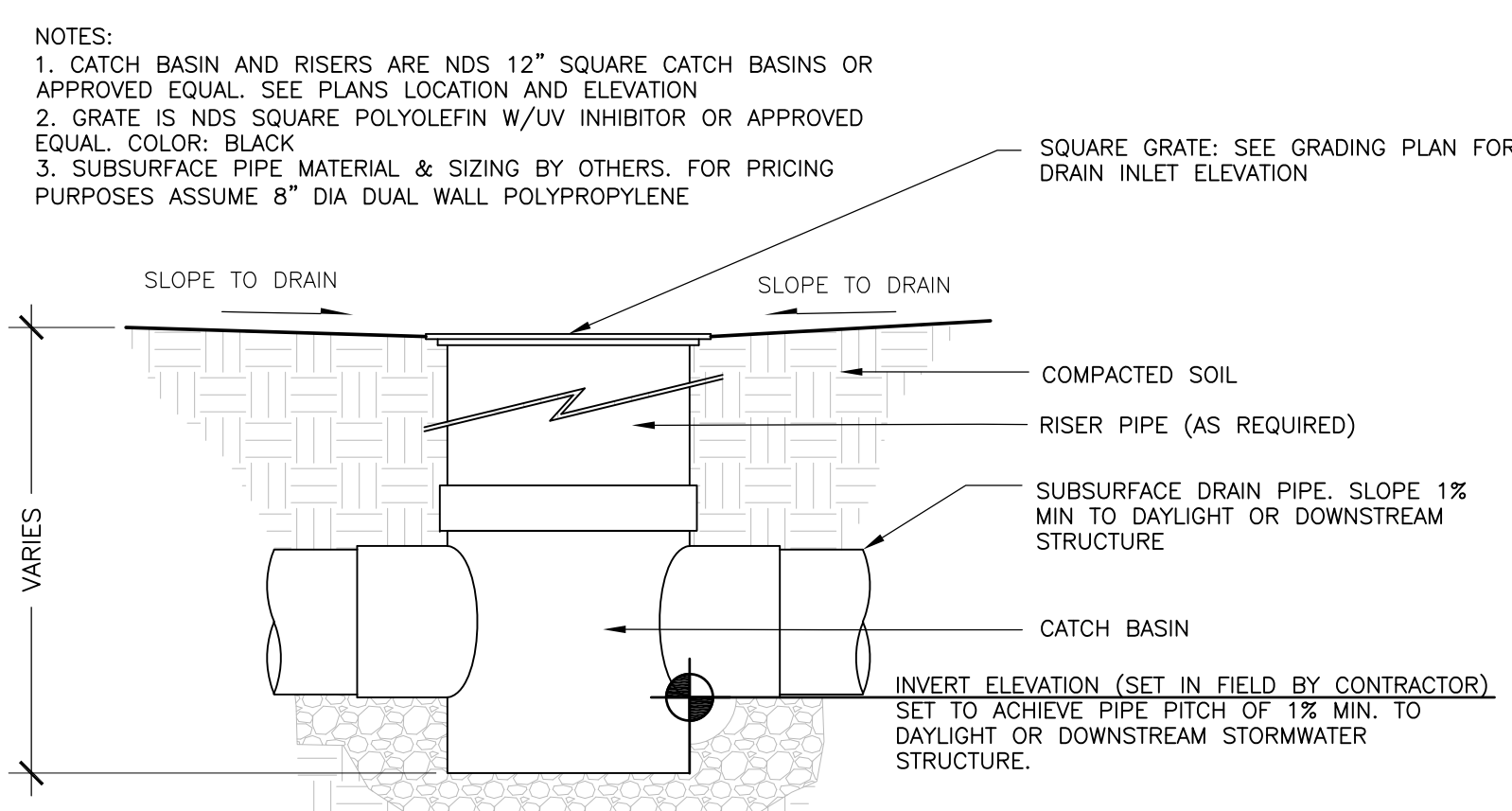
**5** Concrete Curb Edge  
1"=1'-0"



**6** Curb Taper  
1/2"=1'-0"

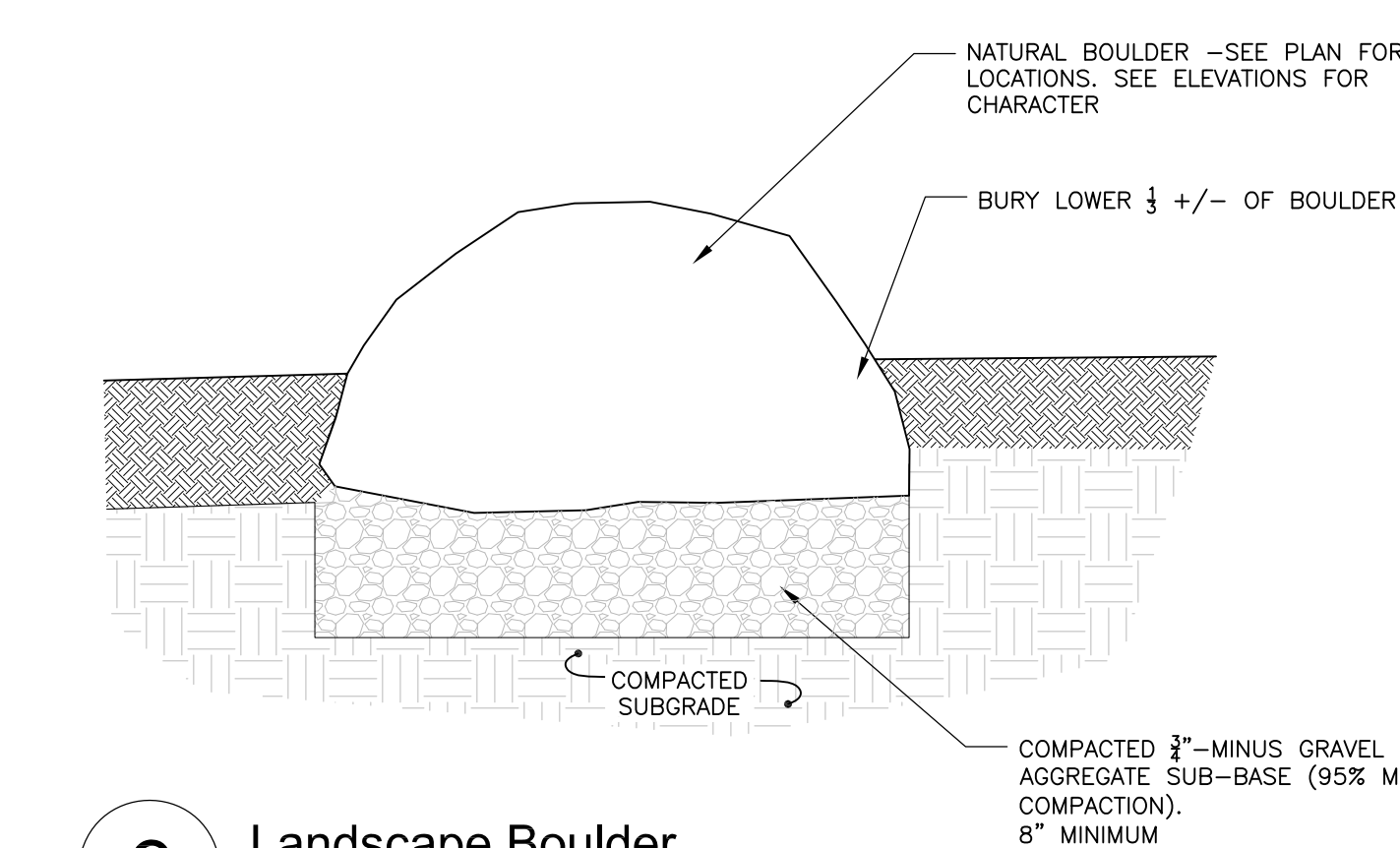


**7** Concrete Paver Band - Vehicular  
1"=1'-0"



**8** Area Drain - Landscape  
NTS

- NOTES:  
1. WEATHERED GRANITE OR SANDSTONE BOULDERS  
2. CONTRACTOR SHALL PROVIDE PHOTOGRAPHS OF BOULDERS FOR LANDSCAPE ARCHITECT REVIEW PRIOR TO PURCHASE.  
3. RECOMMENDED SOURCE: Boulder Look Stone Company 423-335-9225, www.boulderlook.com



**9** Landscape Boulder  
1"=1'-0"

ISSUE DATE: 01.30.2018

REVISIONS

#	DATE	DESCRIPTION

DRAWN: \_\_\_\_\_ REVIEWED: \_\_\_\_\_

PRICING SET  
NOT FOR  
CONSTRUCTION

PROJECT NUMBER: 17-1108

DETAILS

SHEET NUMBER

L7.2

# Martin House Properties, LLC

B.O.R. 792, Pg. 19

# HAFAM NC 1128, LLC

B.O.R. 1374, Pg. 167

## LANDSCAPE SYMBOLS LEGEND

- EXISTING**
- TREE TO REMAIN
- PROPOSED**
- EVERGREEN TREE 8'-12' HIGH MIN. (Symbol: 3) L8.1
  - DECIDUOUS TREE 2" TO 3" CALIPER MIN. (Symbol: 1/2) L8.1
  - DECIDUOUS SHRUB 5 GAL. MIN. (Symbol: 4) L8.1
  - LARGE EVERGREEN SHRUB 7 GAL. MIN. (Symbol: 4) L8.1
  - EVERGREEN SHRUB 3 GAL. MIN. (Symbol: 5) L8.1
  - PERENNIAL/SMALL SHRUB 1 GAL. MIN. (Symbol: 5) L8.1
- MULCH: approx 170 SY.  
Apply to all planting beds & exposed soil outside of grass or seeded areas.

### PLANT LIST:

Code	Botanical Name	Common Name	Qty	Size
<b>Deciduous Trees</b>				
AB	Acer buergerianum	Trident Maple	2	3" CAL.
<b>Deciduous Shrubs</b>				
FG	Fothergilla Gardenii	Dwarf Witch Alder	15	5 GAL
HQS	Hydrangea quercifolia 'Sike's Dwarf'	Dwarf Oakleaf Hydrangea	8	5 GAL
IV	Itea virginica 'Henry's Garnet'	Virginia Sweetspire	12	5 GAL
RCA	Rhododendron 'Coral Bells'	Coral Bells Azalea	1	7 GAL
<b>Evergreen Shrubs</b>				
PLO	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	8	7 GAL
RCA	Rhododendron catawbiense	Catawba Rhododendron	7	7 GAL
RCC	Rhododendron 'Christmas Cheer'	Christmas Cheer Rhododendron	5	4' B&B

# MAYVIEW PLAZA

Blowing Rock, NC

ISSUE DATE: 01.30.2018

REVISIONS		
#	DATE	DESCRIPTION

DRAWN: \_\_\_\_\_ REVIEWED: \_\_\_\_\_

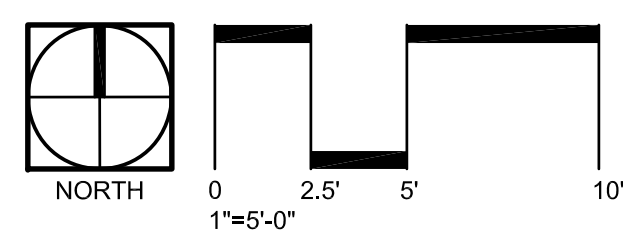
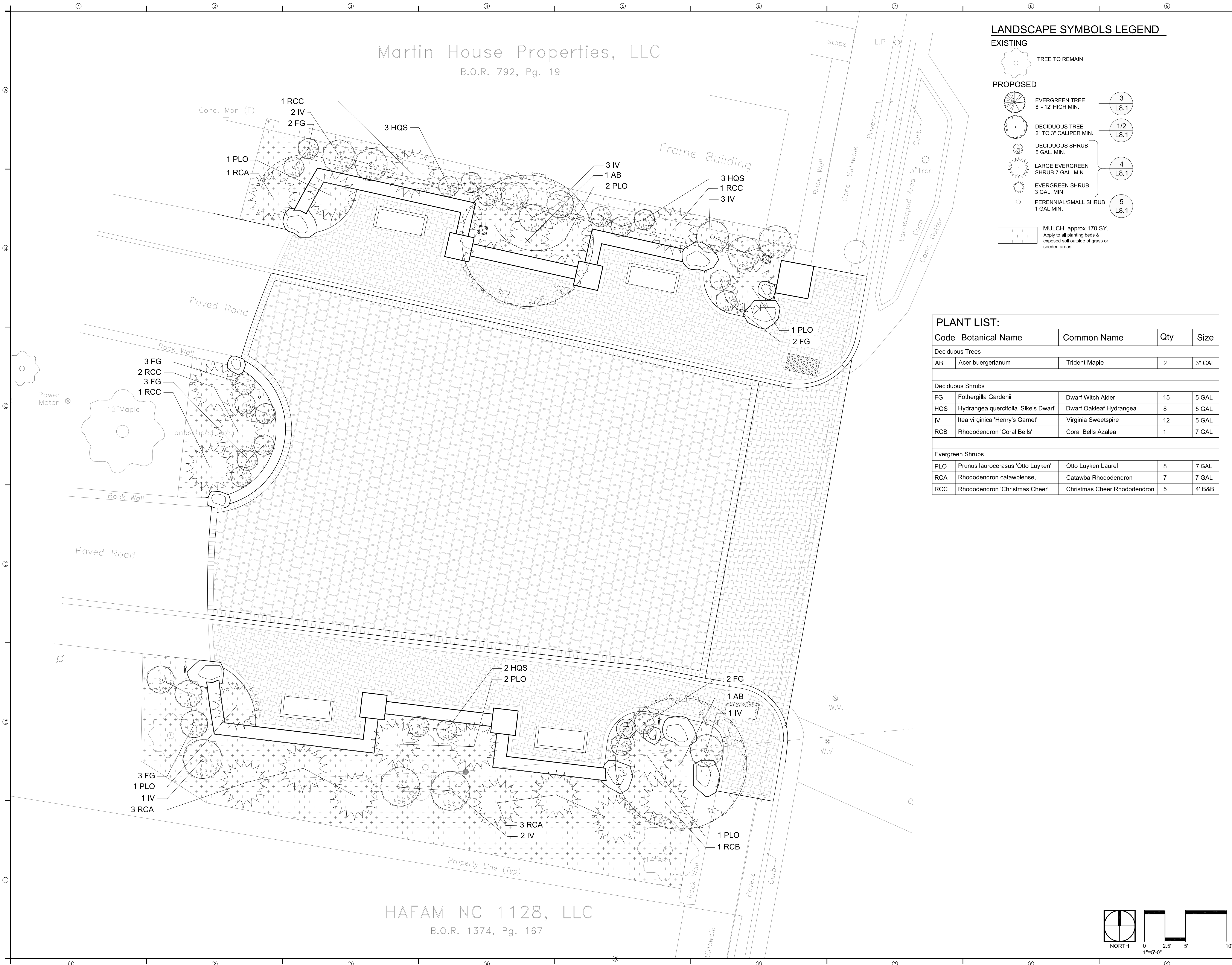
**PRICING SET  
NOT FOR  
CONSTRUCTION**

PROJECT NUMBER: 17-1108

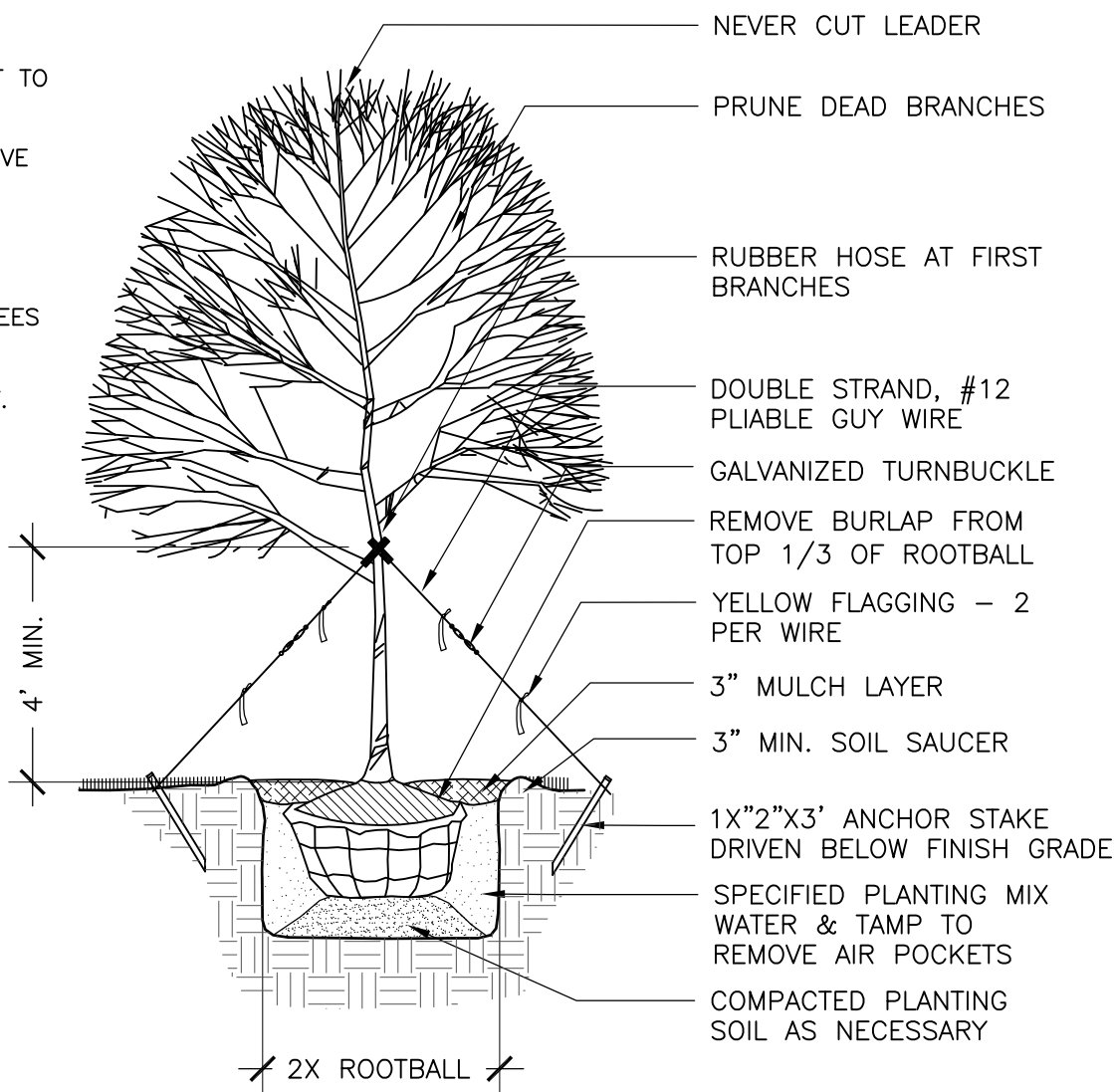
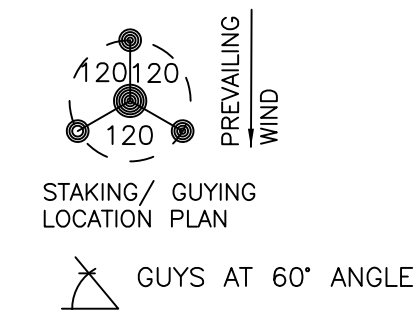
## PLANTING PLAN

SHEET NUMBER

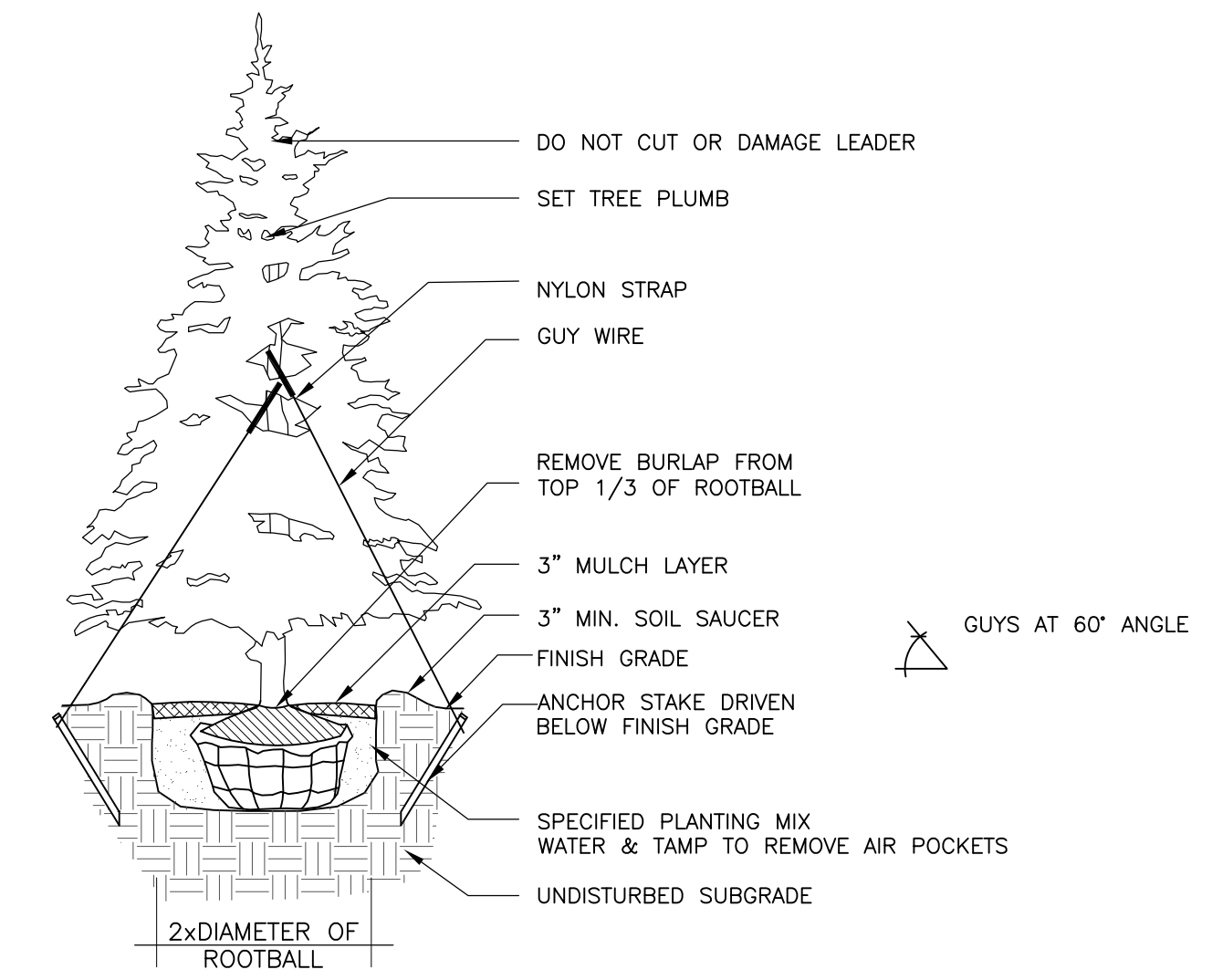
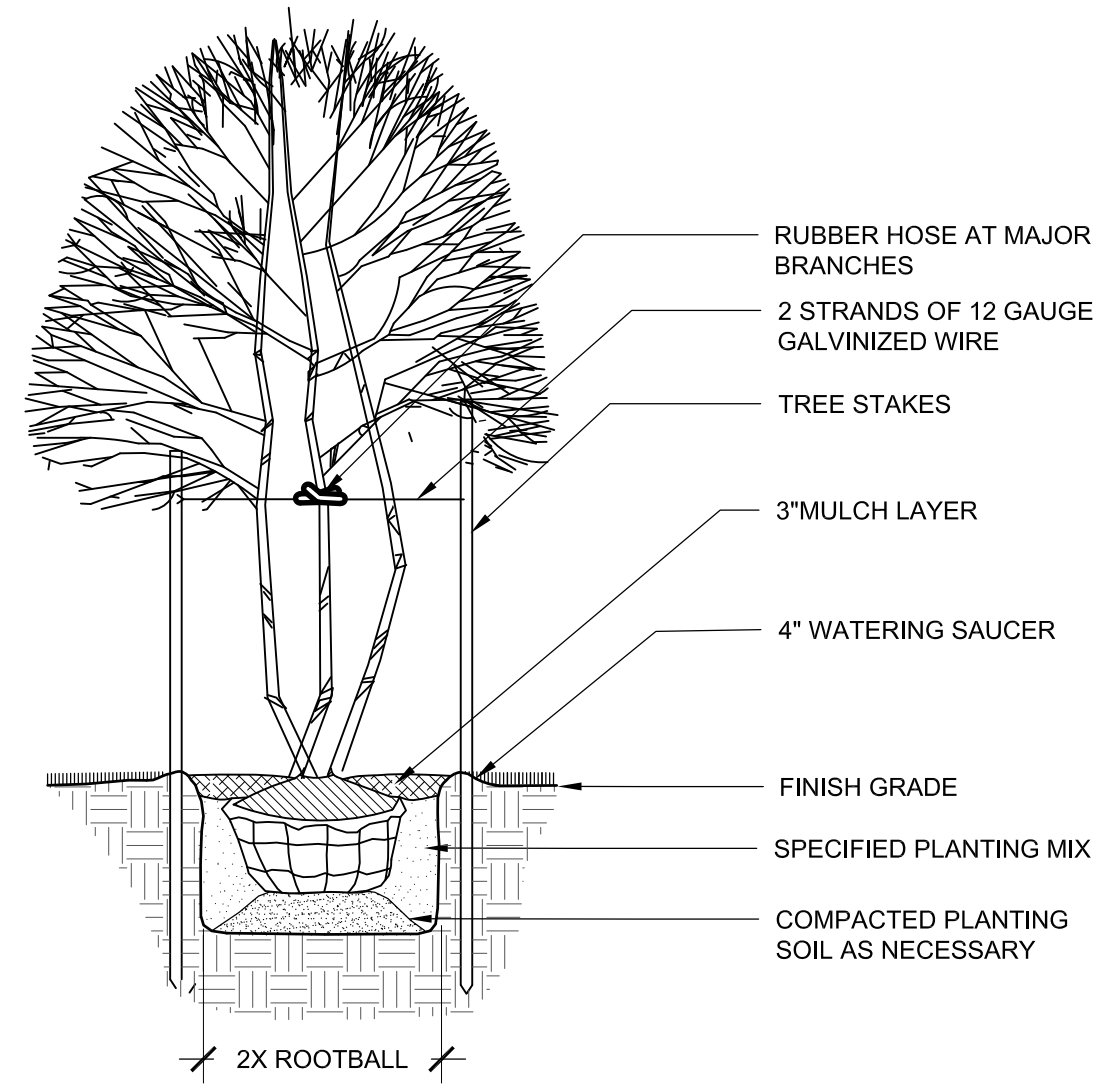
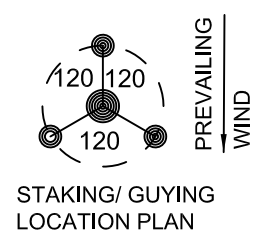
# L8.0



**NOTES:**  
SCARIFY ROOT BALL AND SIDES OF PIT TO PREVENT ROOT CIRCLING.  
SET TOP OF ROOT BALL SLIGHTLY ABOVE SURROUNDING FINISHED GRADE.  
SET STAKES VERTICAL AND AT SAME HEIGHT.  
GUY WIRE ARE NOT REQUIRED FOR TREES UNDER 2" CALIPER.  
PRUNE DEAD BRANCHES FROM CANOPY. DO NOT PRUNE CENTRAL LEADER.



**NOTES:**  
SCARIFY ROOT BALL AND SIDES OF PIT TO PREVENT ROOT CIRCLING.  
SET TOP OF ROOT BALL SLIGHTLY ABOVE SURROUNDING FINISHED GRADE.  
SET STAKES VERTICAL AND AT SAME HEIGHT.  
GUY WIRE ARE NOT REQUIRED FOR TREES UNDER 2" CALIPER.  
PRUNE DEAD BRANCHES FROM CANOPY. DO NOT PRUNE CENTRAL LEADER.  
SECURE TREE TO POLES AT THE LOWEST CROTCH OF THE LOWEST BRANCH.

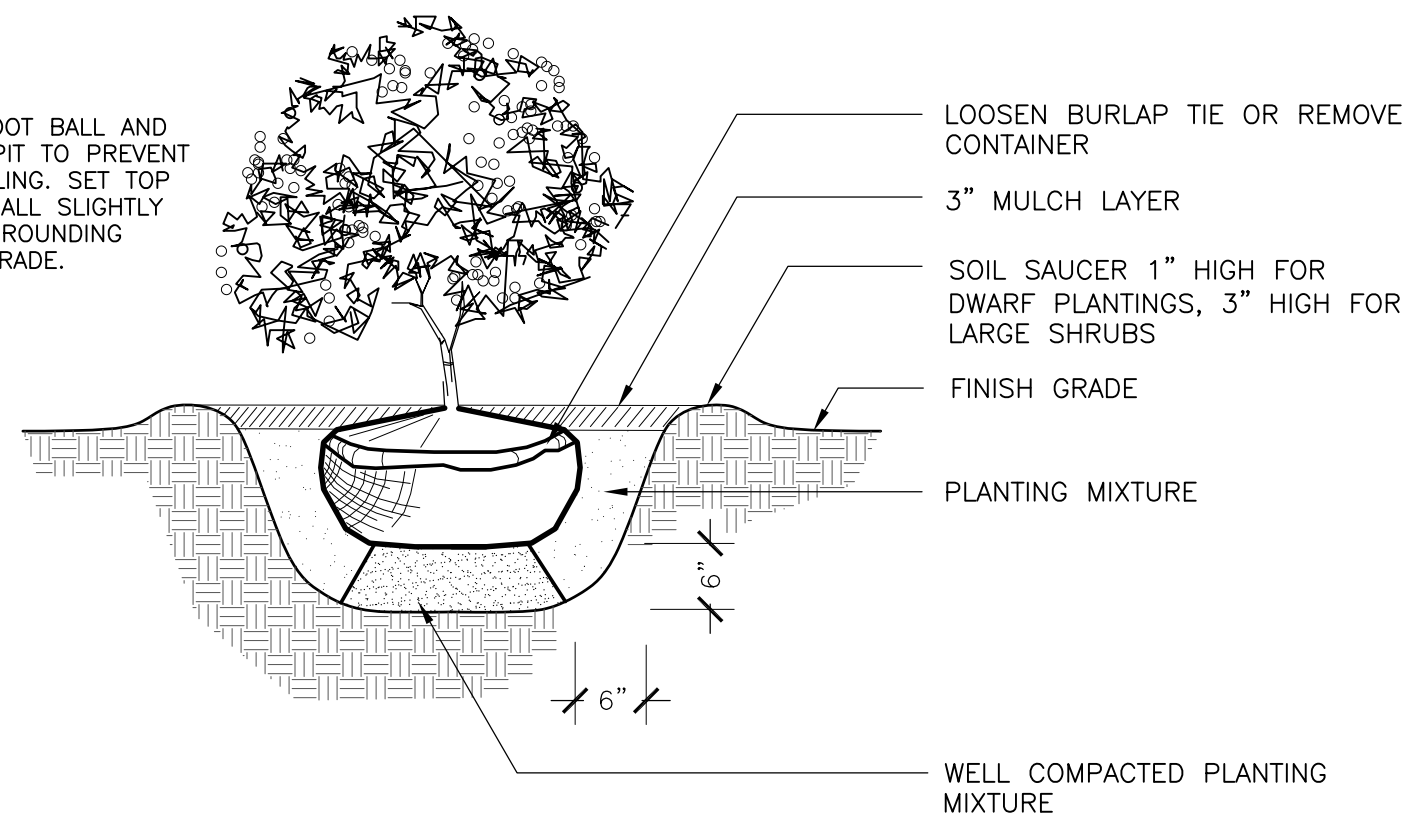


1 Deciduous Tree Planting  
NTS

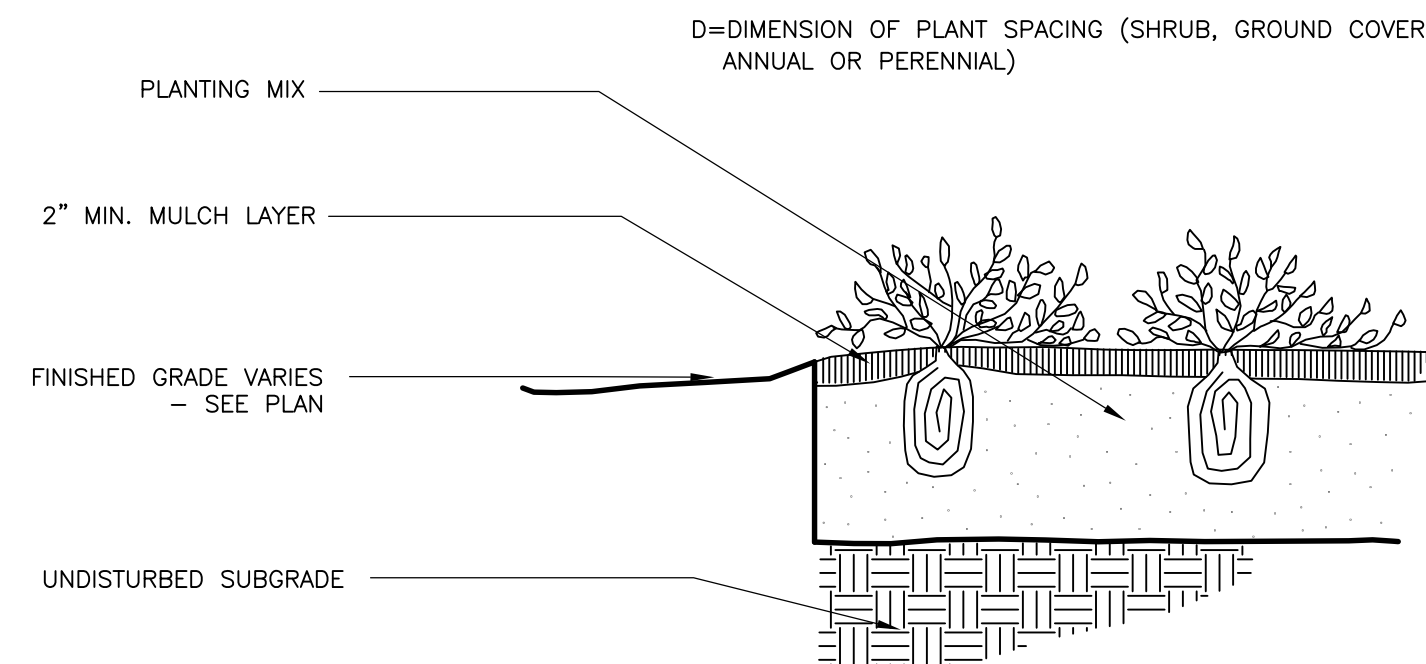
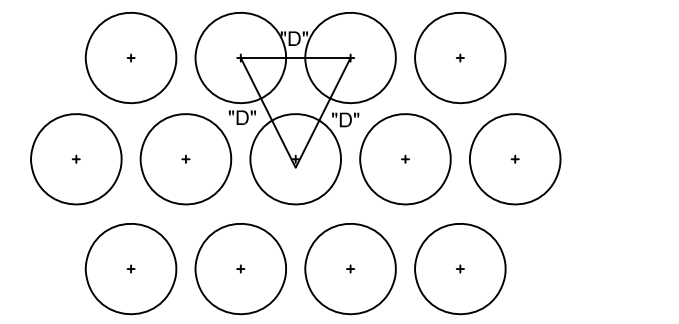
2 Multi-Stemmed Tree  
NTS

3 Coniferous Tree  
NTS

**NOTES:**  
SCARIFY ROOT BALL AND SIDES OF PIT TO PREVENT ROOT CIRCLING. SET TOP OF ROOT BALL SLIGHTLY ABOVE SURROUNDING FINISHED GRADE.



4 Shrub Planting  
NTS



5 Perennial Planting  
NTS

SITE PLANTING NOTES

- 1) If any part of this planting plan cannot be followed due to site conditions, contact project landscape architect for instructions prior to commencement of work. Items (site structures) encountered below grade and not shown on the drawings shall be brought to the attention of the project landscape architect before proceeding with that area of planting / construction.
- 2) Exact locations of plant materials to be approved by the landscape architect in the field prior to installation. Landscape architect reserves the right to adjust plants to exact location in field.
- 3) Verify plant counts and square footages. If quantities on plant list differ from graphic indications, then graphics shall prevail.
- 4) Trees & shrubs shall bear same relation to finished grade as they bore to existing at nursery / tree farm.
- 5) Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
- 6) Prune newly planted trees only as directed by landscape architect.
- 7) Contractor shall provide Landscape Architect with photographs of sourced trees for review prior to digging or shipping of plant materials.

- 8) Top soil for planting beds shall be provided by contractor at all proposed plant beds and new lawn areas as shown on plans. Top soil shall consist of the following: two parts native soil that is clean, friable, free of construction debris, stiff clay, stones larger than 1" diameter, weeds, sod and other deleterious material. One part humus material that is finely ground pine bark, nature's helper, milled sphagnum peat, well rotted manure, well rotted sawdust, or a combination thereof free of viable seeds, roots and organisms or other substances detrimental to plant growth. Thoroughly mix prior to backfilling. Do not use muddy soil for backfilling. New top soil shall be provided to a minimum depth of 12" in all planting areas and shall be provided to a depth of 6" over areas to receive sod or lawn grass seed (as applicable).
- 9) Finish grades of shrub areas (to top of mulch) shall be 1 1/2 inches below adjacent paving or header unless otherwise noted.
- 10) Mulch: All shrub beds, Tree rings and exposed soil areas shall have a 3" layer of double-ground hardwood mulch. Mulch shall be free from viable weed seeds, roots or deleterious materials and suitable for top dressing of trees shrubs or ground covers. the project landscape architect shall review mulch prior to installation. All exposed soil areas shall be top dressed with a 3" layer of mulch.
- 11) Alternate plant species may be considered as needed for substitution. Contractor shall submit alternate proposals to the Landscape Architect for review.
- 12) See L8.1 for planting details & specifications.

IRRIGATION NOTES

- 1) Irrigation design, detailing and specifications is NOT part of this landscape construction set and is not included in VDC's scope of work for the project.
- 2) Unless otherwise agreed upon by the Owner and the General Contractor (GC), the GC is responsible for the watering of all proposed plants shown on the planting plan to ensure establishment and future survival. VDC is not responsible for any plant losses due to inadequate water or any other causes.

ISSUE DATE: 01.30.2018

REVISIONS

#	DATE	DESCRIPTION

DRAWN: \_\_\_\_\_ REVIEWED: \_\_\_\_\_

PRICING SET  
NOT FOR  
CONSTRUCTION

PROJECT NUMBER: 17-1108

PLANTING  
DETAILS

SHEET NUMBER

L8.1

# Martin House Properties, LLC

B.O.R. 792, Pg. 19

## GRADING LEGEND & NOTES

- 101 - EXISTING CONTOUR ELEVATION
- 101 - PROPOSED CONTOUR ELEVATION
- + EX 100.0+/- - EXISTING SPOT ELEVATION (APPROX)
- + 100.0 - PROPOSED SPOT ELEVATION
- + TW 100.0 - TOP & BOTTOM OF WALL ELEVATION (Bottom of wall @ elevation of finished grade)
- + TS 100.0 - TOP & BOTTOM OF STEPS
- + BS 100.0 - TOP & BOTTOM OF CURB
- + TC 100.0 - TOP & BOTTOM OF CURB
- + TCL 100.0 - TOP OF COLUMN (APPROXIMATE - ADJUST AS NEEDED)
- + DI 100.0 - TOP OF DRAIN INLET ELEVATION
- 1% - PROPOSED SLOPE PERCENTAGE
- [Symbol] - TREE PROTECTION FENCING (Orange construction fencing)

**vision design**  
collaborative, P.A.  
landscape architecture  
illustrations  
visioning  
planning  
Phone 828.989.0615 Fax 828.277.7700  
85 School Rd E. Asheville, NC 28803  
WWW.VISIONDESIGNPA.COM

**MAYVIEW PLAZA**  
Blowing Rock, NC

MARK UP  
1/29/2018  
Ralph A. Seamon  
BLUE RIDGE ENERGY

MARK UP  
12/29/2017  
Ralph A. Seamon  
BASED ON MEETING  
W/ TOWN, FOUNDATION &  
BLUE RIDGE MTN CL

ISSUE DATE: 12/22/2017

REVISIONS		
#	DATE	DESCRIPTION

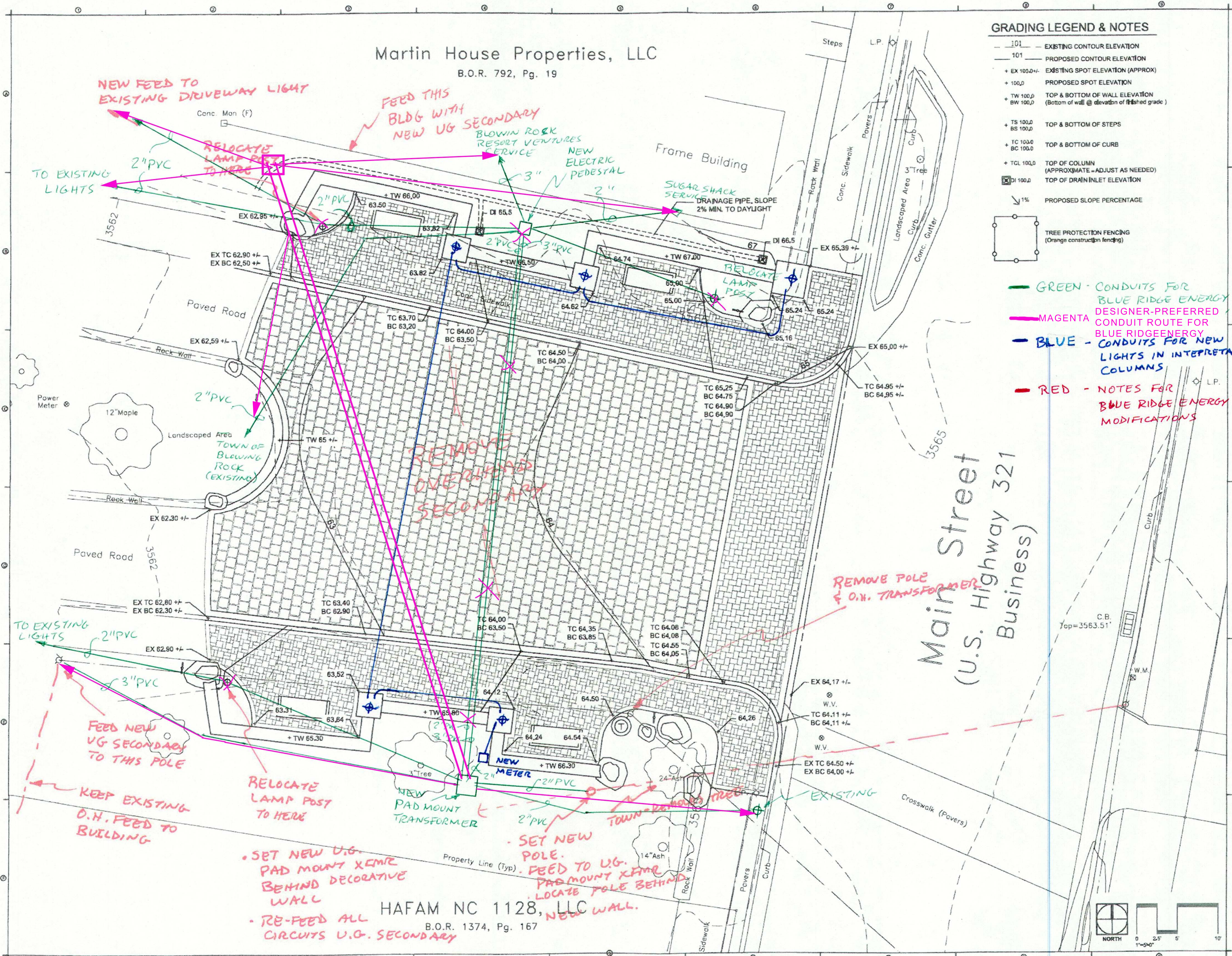
DRAWN: \_\_\_\_\_ REVIEWED: \_\_\_\_\_

PROGRESS SET  
65%  
NOT FOR  
CONSTRUCTION

PROJECT NUMBER: 17-1108

PRELIMINARY  
ELECTRICAL  
ROUTING

SHEET NUMBER  
**E1.0**



NEW FEED TO EXISTING DRIVEWAY LIGHT

FEED THIS BLDG WITH NEW UG SECONDARY

RELOCATE LAMP POST TO HERE

BLOWIN ROCK RESORT VENTURES NEW SERVICE

Frame Building

SUGAR SHACK SERVICE DRAINAGE PIPE, SLOPE 2% MIN. TO DAYLIGHT

RELOCATE LAMP POST

REMOVE OVERHEAD SECONDARY

REMOVE POLE & O.H. TRANSFORMER

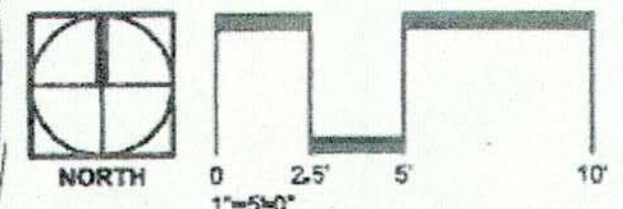
FEED NEW UG SECONDARY TO THIS POLE

RELOCATE LAMP POST TO HERE

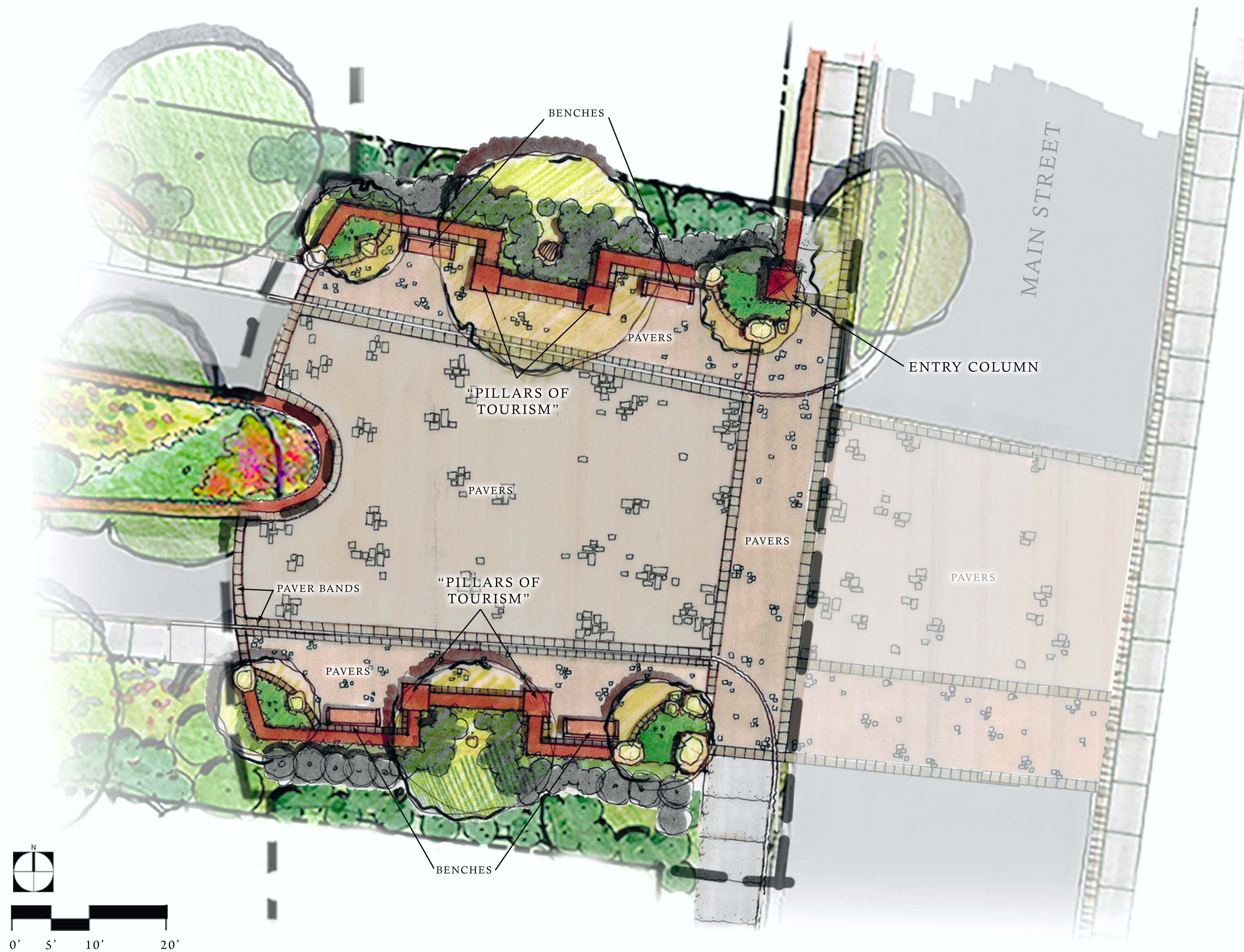
SET NEW UG PAD MOUNT XMR BEHIND DECORATIVE WALL

RE-FEED ALL CIRCUITS U.G. SECONDARY

HAFAM NC 1128, LLC  
B.O.R. 1374, Pg. 167

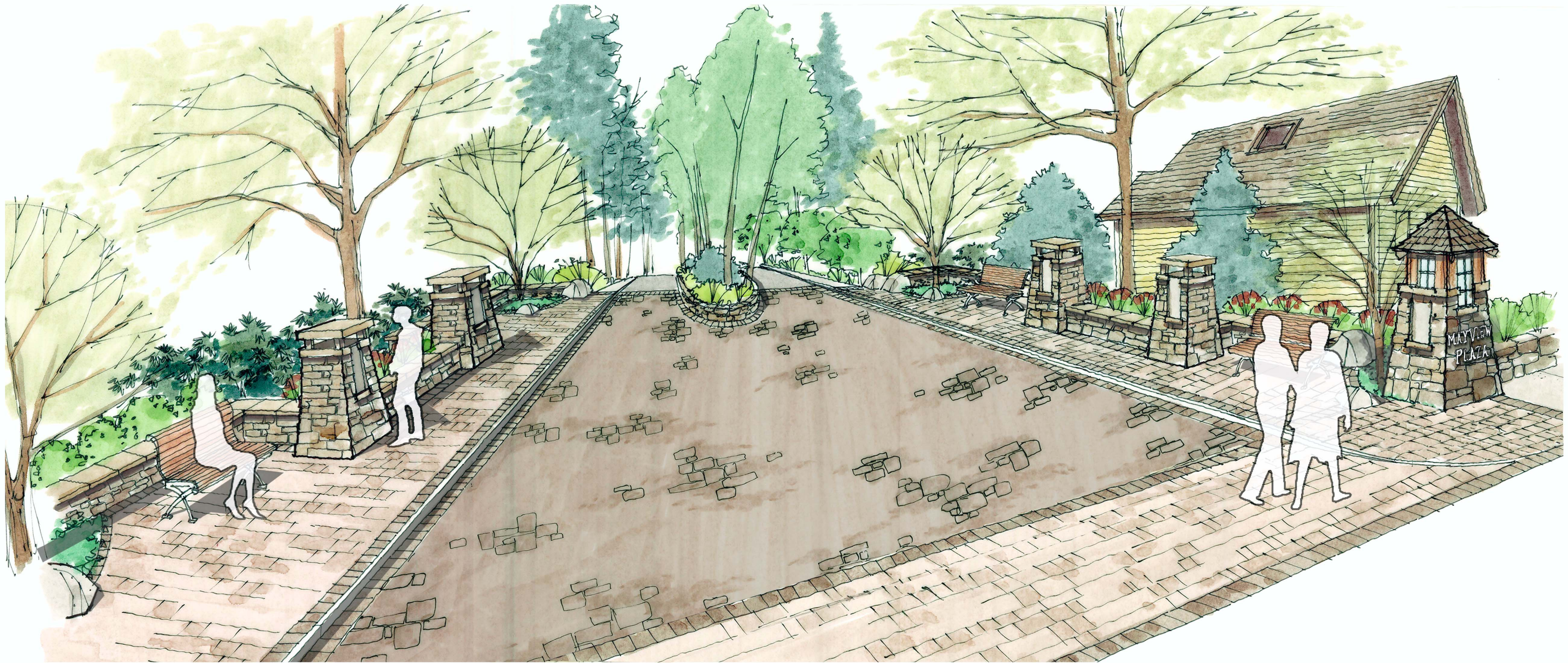






# MAYVIEW PLAZA - CONCEPT PLAN

Downtown Blowing Rock



## MAYVIEW PLAZA - CONCEPT SKETCH


Downtown Blowing Rock

**The Blowing Rock**  
 BLOWING ROCK • NORTH CAROLINA  
 Since 1933 • North Carolina's Oldest Travel Attraction

**THE BLOWING ROCK**

Lorem ipsum dolor sit amet, consectetur adipiscing elit. Nam nibh. Nunc varius facilisis eros. Sed erat. In in velit quis arcu ornare laoreet. Curabitur adipiscing luctus massa. Integer ut purus ac augue commodo commodo. Nunc nec mi eu justo tempor consectetur. Etiam vitae nisl. In dignissim lacus ut ante. Cras elit lectus, bibendum a, adipiscing vitae, commodo et, dui. Ut tincidunt tortor.

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**APPALACHIAN SKI MTN.**

**APPALACHIAN SKI MOUNTAIN**

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**BLOWING ROCK CHARITY HORSE SHOW**

**BLOWING ROCK CHARITY HORSE SHOW**

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**TWEETSIE RAILROAD**

**TWEETSIE RAILROAD**

Lorem ipsum dolor sit amet, consectetur adipiscing elit. Nam nibh. Nunc varius facilisis eros. Sed erat. In in velit quis arcu ornare laoreet. Curabitur adipiscing luctus massa. Integer ut purus ac augue commodo commodo. Nunc nec mi eu justo tempor consectetur. Etiam vitae nisl. In dignissim lacus ut ante. Cras elit lectus, bibendum a, adipiscing vitae, commodo et, dui. Ut tincidunt tortor.

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Lorem ipsum dolor sit amet, consectetur adipiscing elit. Nam nibh. Nunc varius facilisis eros. Sed erat. In in velit quis arcu ornare laoreet. Curabitur mi eu justo tempor consectetur. Etiam vitae nisl. In dignissim lacus ut ante. Cras elit lectus, bibendum a, adipiscing vitae, commodo et, dui. Ut tincidunt tortor.

# MAYVIEW PLAZA - PLAQUE MOCK-UPS

Downtown Blowing Rock