

Town of Blowing Rock

Planning Board

Agenda

Thursday November 21, 2019

5:30 p.m.

Call to Order

Approval of Agenda

Approval of Minutes

Business

1. Conditional Rezoning 2019 – 03 (CB to CZ-CB) – The Blue Ridge Hotel

Other Business

Adjournment

DRAFT
Planning and Zoning Board

Minutes

Monday, October 28, 2019

5:30 p.m.

The Blowing Rock Planning and Zoning Board met on Monday, October 28, 2019 for their regularly scheduled meeting. Chairman Harwood called the meeting to order at 5:30 pm. Members present were Wes Carter, Don Hubble, Kim Hartley, Sam Glover, Pete Gherini and Harrison Herbst. Members Mike Page and Joe Papa were absent. Staff members present were Town Manager Shane Fox, Planning Director Kevin Rothrock and Planning and Zoning Support Specialist Tammy Bentley.

Chairman Harwood asked if there were any changes to the agenda. *Mr. Herbst made a motion to approve the agenda, seconded by Mr. Gherini.* **All members were in favor of the motion.**

Chairman Harwood asked if there were any changes to the July 18, 2019 meeting minutes. There were none. *Mr. Hubble made a motion to approve the minutes, seconded by Ms. Hartley.* **All members were in favor of the motion.**

Chairman Harwood asked to be recused by the Board for the Conditional Zoning request, as he is the Architect of record for this project. *Mr. Carter made a motion to recuse Chairman Harwood, seconded by Mr. Page.* **All members were in favor of the motion.**

Chairman Harwood thanked the Board, turned the meeting over to Vice-Chair Carter and left the room.

CZ 2019 – 02 Conditional Rezoning 2019 – 02 (GB CZ-GB) – The Village on the Headwaters

Mr. Rothrock gave the staff report. The Headwaters of the New River, LLC is requesting a conditional rezoning of the former New River Inn property from General Business to Conditional Zoning – General Business (CZ-GB). The 4.926-acre property is located at 6875 Valley Boulevard. The Applicant is proposing to renovate the former New River Inn office building for use as 4 Forty Four's office building and construct several residential cottages and treehouses. Mr. Rothrock said the project meets Town Code and added that the Applicant is asking for four conditions as follows:

1. Five-year vested rights period upon the approval of this application to allow project completion in phases;
2. The ability to mix the number of cottages and treehouses on the site to meet market demands;
3. The ability to alter the location of the residential uses, if the fire apparatus distance requirements are met; and
4. Use of photovoltaic panels on the southern roof of the office building.

Mr. Rothrock said the setbacks for the property are 20' from 321 and 8 feet on the sides and rear. Mr. Rothrock added the existing office building is located partially in the 100-year

floodway, that all new construction will not expand the current footprint and will not add to the floodway encroachment, and that a flood study and/or certification will be required to verify the new construction will meet the Town's floodplain ordinance.

Mr. Rothrock said that all buildings are consistent with the commercial design standards and colors in the Land Use Ordinance. Mr. Rothrock advised that access will be the current entrance on Highway 321, and access to the remainder of the property will be via the existing bridge and will follow the existing road. Mr. Rothrock advised that the existing grade is 20%, but the Applicant is proposing adjusting the grade to not more than 15% to meet Town Code.

Mr. Rothrock said parking requirements can be met and will be phased as the project progresses. Mr. Rothrock said storm water, utilities, garbage collection and landscaping will all meet Town Code. Mr. Rothrock added that a detailed landscape plan has not been submitted but will be submitted with construction drawings.

Mr. Hubble asked if this project will challenge the Town's water/sewer capacity. Mr. Rothrock advised that it will not.

Mr. Kevin Troyer, Applicant, thanked the Board for their time. He said that he and his wife, Lily, own 4 Forty-four and that the team had worked very hard on this, had done their due diligence and were very excited. Mr. Troyer added that they feel this will be an asset to Blowing Rock.

Mr. Troyer went through the PowerPoint presentation and gave a history of the property. Mr. Troyer said the design meets 17 objectives of the 2014 Comprehensive Plan, that the Middle Fork Greenway (MFG) path location is now proposed and the parking areas for the residential units will be placed on the old hotel building pads.

Mr. Troyer said the treehouse units will be first rate with full amenities. Mr. Troyer added that the plan is to have no steps into the treehouse units and that the site design is very intentional in having a very light environmental footprint.

Ms. Emily Anderson, Designer, said the design is sensitive to Blowing Rock's architectural history and fabric and blends in with the mountain heritage. Ms. Anderson said that the existing building footprint cannot be increased horizontally, therefore it is being increased vertically. Ms. Anderson noted the request for photo voltaic panels on the south facing side of the building. Ms. Anderson detailed the planned exterior finishes as shown on the design board.

Mr. Preston Spencer told the Board he is excited to work on this project and added that collaborating with Municipal Engineering has been great. Mr. Spencer said there are several site conditions including a wetland in the middle of the site, the river, stream, floodplain and floodway. Mr. Spencer advised there is no sewer on the site, and they must bore under 321 to tap to the Town line and they are in preliminary discussions with NCDOT and the Town Engineer regarding this and that the sewer pump station will be very discreet. Mr. Spencer said the project will have a low-density impervious surface; that all retaining

walls will be no taller than 6 feet in height and have very minimal impact on to the wetland and stream.

Mr. Troyer said that they are requesting four conditions, but no variances and indicated that letters of support for the project from the MFG and Blowing Rock Chamber of Commerce, adding that the Chamber had helped to brainstorm the cottage and treehouse concept.

Mr. Mike Trew, of Municipal Engineering, said there are several site issues including topography, the river, wetland and MFG. He added there is an old spring capture system that will need to be replaced and has been permitted by the Army Corps of Engineers. Mr. Trew said the motel 'plateaus' will be used for the residential unit parking. Mr. Trew said the Town storm water requirements will be met adding it will be under the parking lot and release into the stream. Mr. Trew said that this will keep the water cooler and be much better for the trout waters. Mr. Trew reiterated that this is considered a low-density development with 19% impervious surface. Mr. Trew added that the MFG is a great addition and will enhance and benefit the Town.

Mr. Gherini asked the total square footage of the planned office building. Mr. Troyer said 3,600 square feet.

Ms. Hartley asked if the utilities will be above or below ground. Mr. Troyer advised below ground.

Mr. Gherini asked if signage could be erected to alert northbound traffic of the turn into the project. Mr. Troyer said that the larger building and landscaping will define the entrance and that NCDOT did not think that signage was necessary. Mr. Gherini said that people drive fast there, and the issue needs to be raised. Mr. Troyer responded that the road straightens out for a few hundred yards before the entrance past the Moon restaurant. Mr. Hubble asked where the speed limit increases from 35 mph to 50 mph. Mr. Troyer advised just before the project entrance.

Vice-Chair Carter noted that one-half the building is in the floodway and asked how that affected increasing the building footprint. Mr. Rothrock said the footprint cannot be increased.

Vice-Chair Carter asked how many residences are allowed on the site now. Mr. Rothrock advised 25. Mr. Carter noted that proposed number of residential units is well below that number.

Vice-Chair Carter asked how the property will be owned. Mr. Troyer advised that the entire property will have one owner. Mr. Glover asked who that owner will be. Mr. Troyer advised that he own it; that it will not be owned by 4 Forty Four.

Mr. Glover asked if the residential units will be Airbnb. Mr. Rothrock advised that short-term rentals are allowed in the General Business zoning district.

Vice-Chair Carter asked if any retail use is being requested. Mr. Troyer said no.

Vice-Chair Carter asked if there is any issue with the building proximity to the stream. Mr. Trew said there is not.

Vice-Chair Carter asked if firetruck access on the site has been considered. Mr. Spencer said they had met with the Blowing Rock Fire Department and the site plan meets the end-to-end distances. Mr. Rothrock advised there is a 't' turnaround between the two parking lots.

Vice-Chair Carter asked if the routing of the existing stream will be changed. Mr. Trew said that it will be repaired, but not moved.

Mr. Hubble asked Mr. Rothrock if a 5-year vesting period has been historically allowed. Mr. Rothrock said no, but that State Statute allows it.

Vice-Chair Carter asked if all the residential units will be handicap accessible. Mr. Troyer advised that the cottages will be, but the treehouses will not. Mr. Carter asked if this is ok for commercial properties. Mr. Rothrock advised that these are residential properties, not commercial properties, and they will meet the residential building code.

Mr. Glover asked about the 5-year besting period and planned phasing of the project. Mr. Troyer said they plan to build 3 units and see how the market responds.

Mr. Gherini commented that the solar panels do not meet code and will need to be changed. Mr. Rothrock confirmed and added that it is limited to 20% of the roof plane, but that anything over 20% can be part of the Conditional Zoning approval. Vice-Chair Carter noted that the solar panels will be on the south side of the building and not visible from the road.

Vice-Chair Carter noted that the property is zoned General Business, that this use is allowed in this district, and asked why the change is being requested. Mr. Rothrock said the Applicant chose Conditional Zoning with four conditions. Vice-Chair Carter asked if any of the conditions are not met by current code. Mr. Rothrock said no, that there are no variances requested.

Ms. Hartley inquired as the phases. Mr. Troyer said the first phase would be the office building.

Mr. Glover asked if the future office space would require additional approval and additional parking. Mr. Rothrock said that ultimately the Town Council approves this request and they can stipulate that they approve the design of the future office building. Mr. Rothrock added that he thinks this a reasonable condition. Vice-Chair Carter asked why this is not a condition now. Mr. Rothrock said it can be added now. Vice-Chair Carter said if not added now, they must come back for approval. Mr. Rothrock said the future building is on the plan now as a placeholder, but it would be prudent to ask the Applicant to return to the Planning Board and/or the Town Council for approval.

*Mr. Glover made a motion to open public comment, seconded by Mr. Herbst. **All members were in favor of the motion.***

Mr. Marshall Sealy of Norwood Circle asked for an explanation of floodway versus floodplain. Mr. Rothrock said the floodway is closest to the stream and most regulated and that he is not aware of any water getting into the existing building. Mr. Trew said the floodway is the area of moving water and the floodplain is the area of standing/pooling water.

Mr. Tim Gupton of Meadow Lane asked if the culvert is grandfathered by the Blue Ridge Conservancy. Mr. Trew advised that it is a bottomless culvert; an arch. Mr. Gupton asked if it will be or must be restored. Mr. Troyer said the Middle Fork Greenway advised against removing it as it is more environmentally friendly.

Mr. Gherini made a motion to close the public comment, seconded by Mr. Herbst. All members were in favor of the motion.

Vice-Chair Carter asked why some units are called treehouses. Mr. Troyer advised that there is quite a market/audience for treehouses, adding that he and Lily traveled to Arkansas to stay in a treehouse and there were visitors from all over the US and abroad.

Vice-Chair Carter said he appreciated him working with the MFG and asked if he will make granting the easement a condition of the request. Mr. Troyer advised that he is willing to if the final plans from the MFG are in keeping with their conversations to date. Vice-Chair Carter asked again if this could be a condition. Mr. Troyer said that this is his intention, but without final plans from the MFG, he would be putting himself in a position of being beholden to the Town. Mr. Hubble said he does not see this as a part of the Conditional Zoning request. Mr. Troyer said he would provide a letter of his intention to grant the easement.

Mr. Gherini complemented Mr. Troyer and his team on the presentation, adding that it is a very well thought out plan and it covers all the bases.

Ms. Hartley made a motion to recommend to Town Council as presented. The Board discussed the motion. Mr. Hubble seconded Ms. Hartley's motion. All members were in favor of the motion.

Chairman Harwood returned to the meeting and resumed as Chairman.

Other Business

Mr. Rothrock advised the Board of the second 321 Visioning Workshop being held at Town Hall on Tuesday, October 29 at 7 p.m. He also advised the Board of the Neighborhood Meeting for the Blue Ridge Hotel which is proposed on the old Blue Ridge Motor Court property on Main Street. This meeting will be held on Thursday, November 7 at Town Hall at 5:30 p.m.

Mr. Gherini asked about updating the Comprehensive Plan. Mr. Rothrock advised this is updated on every ten years and the next update should be in 2024. He advised the Board that he will provide them a snapshot of how we are progressing with the 2014 plan items.

Mr. Rothrock advised the Board that the Sunset Streetscape project should be finished by the third week of November. Vice-Chair Carter asked if all the pavement will be removed. Mr. Rothrock advised that some will be milled and added that the contractor had done a great job in matching the existing grade and tying in the water and sewer lines.

Charmain Harwood told the Board members that he appreciated them all rearranging their schedules to have this meeting.

*Mr. Herbst made a motion to adjourn, seconded by Ms. Hartley. **All members were in favor of the motion.***

Chairman Harwood adjourned the meeting at 6:40 p.m.

Chairman David Harwood

Tammy Bentley
Planning & Zoning Support Specialist

Blowing Rock Planning Board

STAFF REPORT

Project: CZ 2019-03 Conditional Rezoning from CB to CZ-CB
Meeting Date: November 21, 2019
Applicant: John Winkler
Staff: Kevin Rothrock, Planning Director

REQUEST

John Winkler is requesting a conditional rezoning of the former Blue Ridge Motor Court property from Central Business to Conditional Zoning – Central Business (CZ-CB). The .44-acre property is located on Main Street. The Applicant is proposing the construction of a 12-unit hotel on the property. The property is further identified by Watauga County PIN 2807-98-6873-000.

General

The Applicant is seeking the conditional rezoning to construct a 12-room hotel on the former Blue Ridge Motel property.

Setbacks

The setback on Main Street is 15 feet from back of the proposed sidewalk and the setback off Sunflower Lane is 15 feet from the edge of the road. The side setbacks on the property are 5 feet. The proposed hotel meets all setback requirements as the building is shown at 54 feet from the back of the sidewalk to the closest point of the building.

Architectural Design

All building materials as proposed on the hotel appear to meet the commercial design standards. The overall height of the building is 37 feet 10 inches from the grade at the primary entrance. The overall height includes a parapet to screen HVAC equipment. To allow the building height as shown, the front southwest corner of the building will need to be moved back one (1) foot.

Access

Access to the site will be a revised and relocated driveway entrance off Main Street. The previous driveway was through the middle of the site and the new access will be moved slightly west and to the left of the property frontage. No access will be provided to Sunflower Lane.

Parking

The proposed hotel requires 12 spaces and 15 spaces are shown on the site plan.

Storm Water

The storm water runoff from the site will be conveyed to an onsite detention system under the parking area and released to the storm drainage system on Main Street, consistent with the Land Use Ordinance.

Garbage Collection

Garbage collection will be through roll-out containers and will be picked up the owner or a private service.

Landscaping

A landscape plan shows some large shade trees to be planted and will meet the screening requirements. The buffer on the northwest corner of the site needs to be increased from 4 to 8 feet but there is sufficient room to accommodate. There are 2 or 3 large shade trees along Sunflower Lane that can be retained to enhance the rear street yard.

Applicant Proposed Conditions

None proposed

ATTACHMENTS

1. Site and architectural plan package
2. Landscape plan
3. Photos and aerial view of site

GENERAL NOTES:

- 1.) ALL PROPOSED DIMENSIONS USED TO SHOW THE GEOMETRIC LAYOUT OF THE PROPOSED PARKING LOT ARE SHOWN AT THE FACE OF CURB. ALL PROPOSED DIMENSIONS USED TO SHOW THE GEOMETRIC LAYOUT OF THE PROPOSED BUILDING LOCATION ARE GIVEN AT THE OUTSIDE FACE OF THE BUILDING CORNERS. ALL CURB RADII ARE GIVEN AT THE FACE OF CURB.
- 2.) CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS IN THE FIELD AND THE SURVEY SHOWN ON THE PLANS BEFORE PROCEEDING WITH ANY NEW CONSTRUCTION.
- 3.) CONTRACTOR IS RESPONSIBLE FOR CORRECT HORIZONTAL AND VERTICAL ALIGNMENT OF ALL TIES BETWEEN PROPOSED AND EXISTING PAVEMENTS, CURB AND GUTTER, SIDEWALKS, WALLS, AND UTILITIES.
- 4.) ALL NEW UTILITIES SHALL BE UNDERGROUND.

SITE NOTES:

- 1.) TRACT IS ZONED CONDITIONAL CB (CENTRAL BUSINESS). SEE CUP APPROVED BY PLANNING & ZONING BOARD DATED NOVEMBER 16, 2017.
- 2.) SEE ARCHITECTURAL PLANS FOR BUILDING FLOOR PLAN DIMENSIONS, DOOR LOCATIONS, SITE LIGHTING PLAN, AND OTHER ARCHITECTURAL DETAILS.
- 3.) NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED ON THE SITE.
- 4.) HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM THE PUBLIC VIEW AND DOES NOT INTERFERE WITH TRAFFIC. (SEE PHOTOMETRICS PLAN IN ARCH. PLANS).
- 5.) ALL BUFFERS, TREE SAVE AREAS, AND UNDISTURBED AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- 6.) NO OUTSIDE STORAGE IS PROPOSED. THIS INCLUDES SUPPLIES, VEHICLE, EQUIPMENT, PRODUCTS, ETC.
- 7.) SIGNS (LOCATION, NUMBER, AND SIZE) ARE NOT APPROVED UNDER THIS DEVELOPMENT PERMIT. A SEPARATE PERMIT IS REQUIRED FOR ON-SITE SIGNAGE.
- 8.) ALL PAVEMENT MARKING WITHIN NCDOT R/W SHALL BE CONSTRUCTED ACCORDING TO NCDOT SPECIFICATIONS.
- 9.) ALL CONSTRUCTION RELATED PERMITS DURING THE CONSTRUCTION PHASE OF THIS PROJECT ARE THE RESPONSIBILITY OF THE OWNER, HOWEVER A CONTRACTOR/DEVELOPER CAN DO PERMITTING WITH AGENT AUTHORIZATION.
- 10.) CONSTRUCTION TRAILERS ARE TO BE PERMITTED THROUGH THE ZONING DIVISION OF DEVELOPMENT SERVICES.
- 11.) ALL EROSION, SEDIMENT CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING.
- 12.) THE JURISDICTION ACCEPTS NO RESPONSIBILITY FOR THE AMERICANS WITH DISABILITIES ACT (ADA), EXCEPT FOR NOTIFICATION REQUIREMENT. THE OWNER/DEVELOPER IS SOLELY RESPONSIBLE FOR COMPLIANCE FOR SAID ACT.
- 13.) DUMPSTER AND RECYCLING ENCLOSURES SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE BUILDING BY PAINTING THE ENCLOSURE THE SAME COLOR AS THE BUILDING SIDING.
- 14.) 24 HOUR CONTACT: JASON GASTON, P.E., 770-722-9178

WATERSHED CALCULATIONS - BLUE RIDGE MOTEL

A1	Area of Parcel:	20,734.56	sf
A2	Area of Parcel Outside Watershed	-	
A3	Net Area of Parcel Subject to Watershed:	20,734.56	
A4	Existing Impervious Inside Watershed Prior to 9/15/93	9,462.00	sf
A5	Net Property Subject to Watershed:	11,272.56	sf
A6	Allowable % Impervious in Watershed:	36%	
A7	Net Property Allowable Impervious:	4,058.12	sf
A8	Impervious Area added after 9/15/93:	-	sf
A9	Total Net Property Allowable Impervious:	4,058.12	sf
A10	TOTAL ALLOWABLE IMPERVIOUS AREA (A2+A4+A9)	13,520.12	sf
A11	TOTAL PROPOSED IMPERVIOUS AREA:	12,035.00	sf

PARKING CALCULATIONS

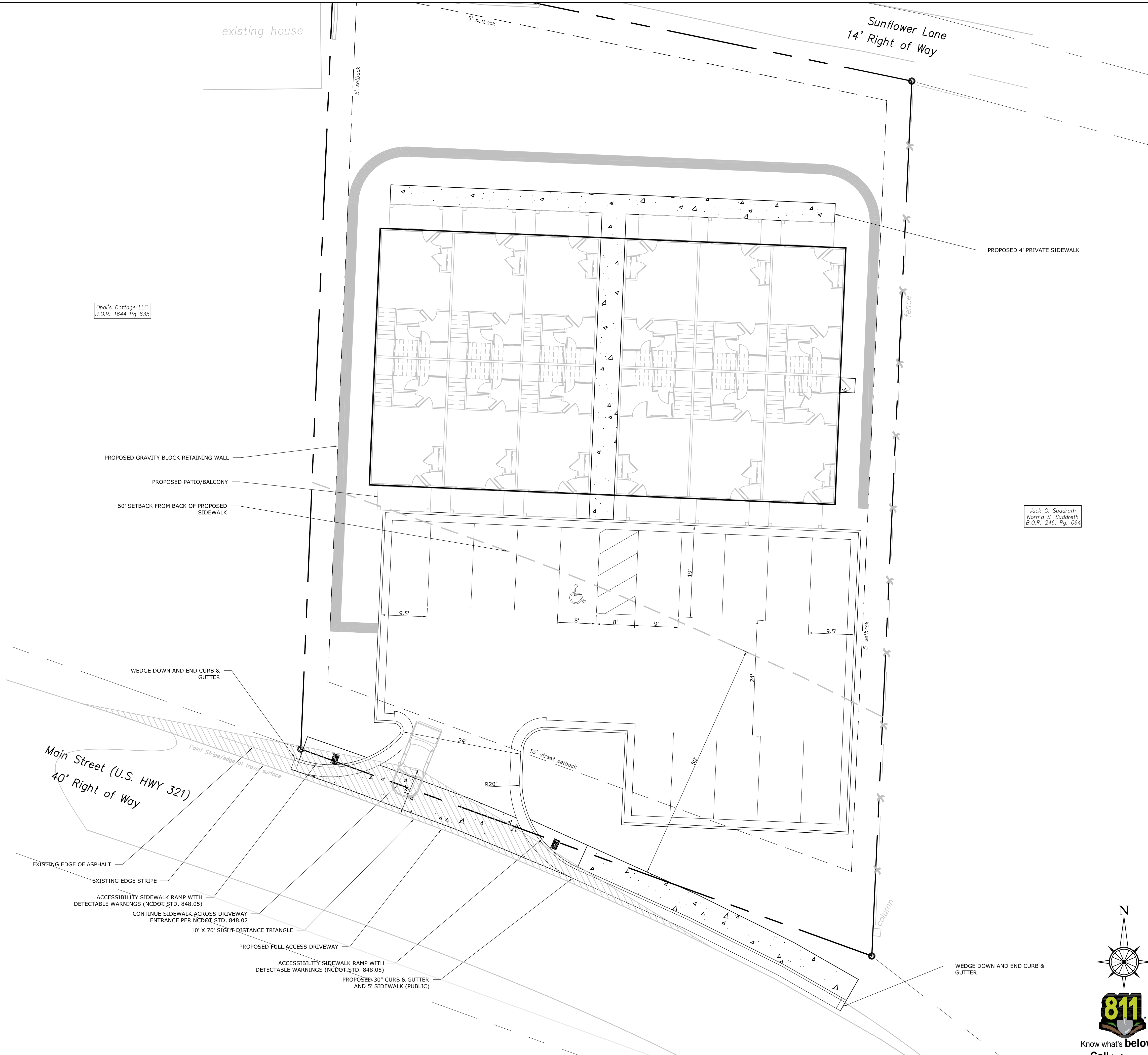
PROPOSED BOUTIQUE INN (USE 1.630)	1 SPACE / ROOM
MIN. PARKING REQUIREMENT =	12 ROOMS
PROPOSED NUMBER OF ROOMS =	12 SPACES
MIN. REQUIRED PARKING =	12 SPACES
STANDARD PARKING SPACES:	14
ACCESSIBLE SPACES:	1
TOTAL STANDARD & ACCESSIBLE PARKING PROVIDED =	15 SPACES

PROPOSED BUILDING HEIGHT

BUILDING IS > 50' FROM THE BACK OF THE PROPOSED SIDEWALK. THEREFORE, THE MAXIMUM BUILDING HEIGHT SHALL BE MEASURED FROM THE AVERAGE FINISHED GROUND ELEVATION ADJACENT TO THE PRIMARY ENTRANCE (16.184.02)	
AVERAGE FINISHED GROUND ELEVATION:	1005.50
PROPOSED ELEVATION:	1042.50 (37')

LEGEND

- PROPOSED CONCRETE
- PROPOSED SIGN
- PROPERTY LINE
- ADJACENT PROPERTY LINES



PROJECT:
Blue Ridge Hotel
A Commercial Development

ADDRESS:
 830 Main Street
 Blowing Rock, NC

DEVELOPER:

 RESIDENTIAL & COMMERCIAL PROPERTY MANAGEMENT
 215 Boone Heights Drive, Ste. 100
 Boone, NC 28607
 828-262-3431

CONTACT: MR. JOHN WINKLER

ENGINEER:

 215 Boone Heights Drive, Ste. 107
 Boone, NC 28607
 828-262-9807
 www.valorengineering.com

SEAL:

REVISIONS	DATE

PROJECT MANAGER:	JEG
DRAWING BY:	JEG
JURISDICTION:	TOWN BLOWING ROCK
DATE:	09/30/19
SHEET TITLE:	

PRELIMINARY
SITE PLAN

SHEET NUMBER: **C-1**

SCALE: 1" = 10'

FILE NUMBER: 001-047



GRADING NOTES:

- 1.) ALL SPOT ELEVATIONS SHOWN ARE @ THE EOP UNLESS OTHERWISE NOTED.
- 2.) ALL PROPOSED SIDEWALKS SHALL BE BUILT WITH A 2% CROSS-SLOPE AWAY FROM THE BUILDING.
- 3.) THE CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN STORM WATER CONVEYANCE CHANNELS AND PIPES AT END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
- 4.) COORDINATE WITH THE TOWN OF BLOWING ROCK INSPECTIONS DURING CONSTRUCTION.
- 5.) NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
- 6.) CONSTRUCT EROSION CONTROL BARRIERS PER THE TOWN OF BLOWING ROCK INSPECTOR AND MAINTAIN UNTIL PERMANENT VEGETATION IS ESTABLISHED.
- 7.) THE CONTRACTOR SHALL RE-ESTABLISH ALL RIGHT OF WAY AREA WHICH IS DAMAGED OR DISTURBED TO ORIGINAL CONDITIONS OR BETTER DURING AUTHORIZED WORK. ALL WORK IN NCDOT RIGHT OF WAY SHALL COMPLY WITH NCDOT SPECIFICATIONS.
- 8.) ALL CURBED ISLANDS SHALL BE FILLED TO TOP OF CURB WITH TOPSOIL AND SEEDED.
- 9.) MAXIMUM CUT SLOPE IS 1.5:1 AND MAXIMUM FILL SLOPE IS 2:1.
- 10.) ALL BUFFERS, TREE SAVE AREAS, AND UNDISTURBED AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- 11.) ALL HDPE STORM PIPE SHOWN ON THIS PLAN SHALL BE WRAPPED WITH LOCATION WIRE AND TAPE.
- 12.) IN ALL AREAS OF FILL OR OTHERWISE DISTURBANCE OF EXISTING CONDITIONS, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL FULLY AND COMPLETELY REMOVE AND LEGALLY DISPOSE OFF-SITE, ALL PLANT MATERIALS INCLUDING BUT NOT LIMITED TO ROOT SYSTEMS, CONCRETE, REINFORCED CONCRETE, ASPHALT DEBRIS, UNDERBRUSH, TOPSOIL AND OTHER DELETERIOUS MATERIAL. THE SUBGRADE TO REMAIN SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY FOLLOWING FULL REMOVAL OF THESE MATERIALS.
- 13.) ALL SUBGRADE PREP AND AREAS OF THE SITE TO RECEIVE FILL SHALL BE COMPLETED IN STRICT CONFORMANCE WITH THE RECOMMENDATIONS PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL HAVE THIS REPORT ON THE JOB SITE FOR REFERENCE AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE EARTHWORK OPERATIONS AND CONSTRUCTION PHASE MONITORING TO ENSURE THAT ALL COMPACTION IS COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL PROVIDE TESTING REPORTS TO THE OWNER REGARDING COMPACTION TESTING PER THE TESTING PROTOCOL IN THE GEOTECHNICAL REPORT.
- 14.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN QUALIFIED PROFESSIONAL ADVICE WHEN QUESTIONS ARISE CONCERNING DESIGN AND EFFECTIVENESS OF EROSION CONTROL DEVICES. 24 HR. CONTACT: MR. JASON GASTON (770) 722-9178
- 15.) A PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER PANEL 3710281800, DATED 12/3/09. HOWEVER, NO PORTION OF THE BUILDING SHALL BE LOCATED INSIDE THE FLOOD HAZARD AREA, AND NO PORTION OF THE FLOODWAY SHALL BE IMPACTED.
- 16.) STORMWATER MANAGEMENT FACILITIES AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY, STATE, AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT TIME OF CONSTRUCTION PLAN APPROVAL.
- 17.) EXTREME CAUTION SHALL BE USED WHEN WORKING WITHIN THE VICINITY OF THE EXISTING OVERHEAD POWER LINES. CONTRACTORS SHALL NOTIFY/COORDINATE WITH NEW RIVER LIGHT AND POWER COMPANY PRIOR TO CONSTRUCTION.
- 18.) ALL PUBLICLY MAINTAINED SIDEWALK SHALL BE BUILT WITH 5,000 PSI CONCRETE WITH FIBER 4" THICK AND 4" WASHED STONE UNDERNEATH. SIDEWALK TO BE SEALED WITH CONCRETE SEALER. ALL DRIVEWAYS SHALL BE 6" WASH STONE AND 6" 5,000 PSI CONCRETE WITH FIBER AND SEALED. ALL PROPOSED SIDEWALKS SHALL BE BUILT WITH A 2% CROSS-SLOPE AWAY FROM THE BUILDING.
- 19.) ANY EXISTING MATERIAL (SIDEWALK, ASPHALT, ETC.) THAT IS DAMAGED FOR THE PURPOSES OF STORM DRAINAGE TIE-IN WORK SHALL BE REPLACED IN KIND AS SOON AS INSTALLATION WORK IS COMPLETED. ANY EXISTING DRIVEWAYS SHALL BE KEPT IN SERVICE DURING BUSINESS HOURS OF THE ASSOCIATED PROPERTY.

LEGEND

- PROPERTY LINE
- - - ADJACENT PROPERTY LINES
- ▬ PROPOSED WALL
- ▣ CONCRETE SIDEWALK AND PAVING
- ▤ PROPOSED NCDOT PAVING
- ▥ PROPOSED STANDARD DUTY PAVING
- XXX.XX EXISTING SPOT ELEVATION
- XXX.XX PROPOSED SPOT ELEVATION
- XXX- EXISTING CONTOURS
- XXX- PROPOSED CONTOURS

EARTHWORK CALCULATIONS

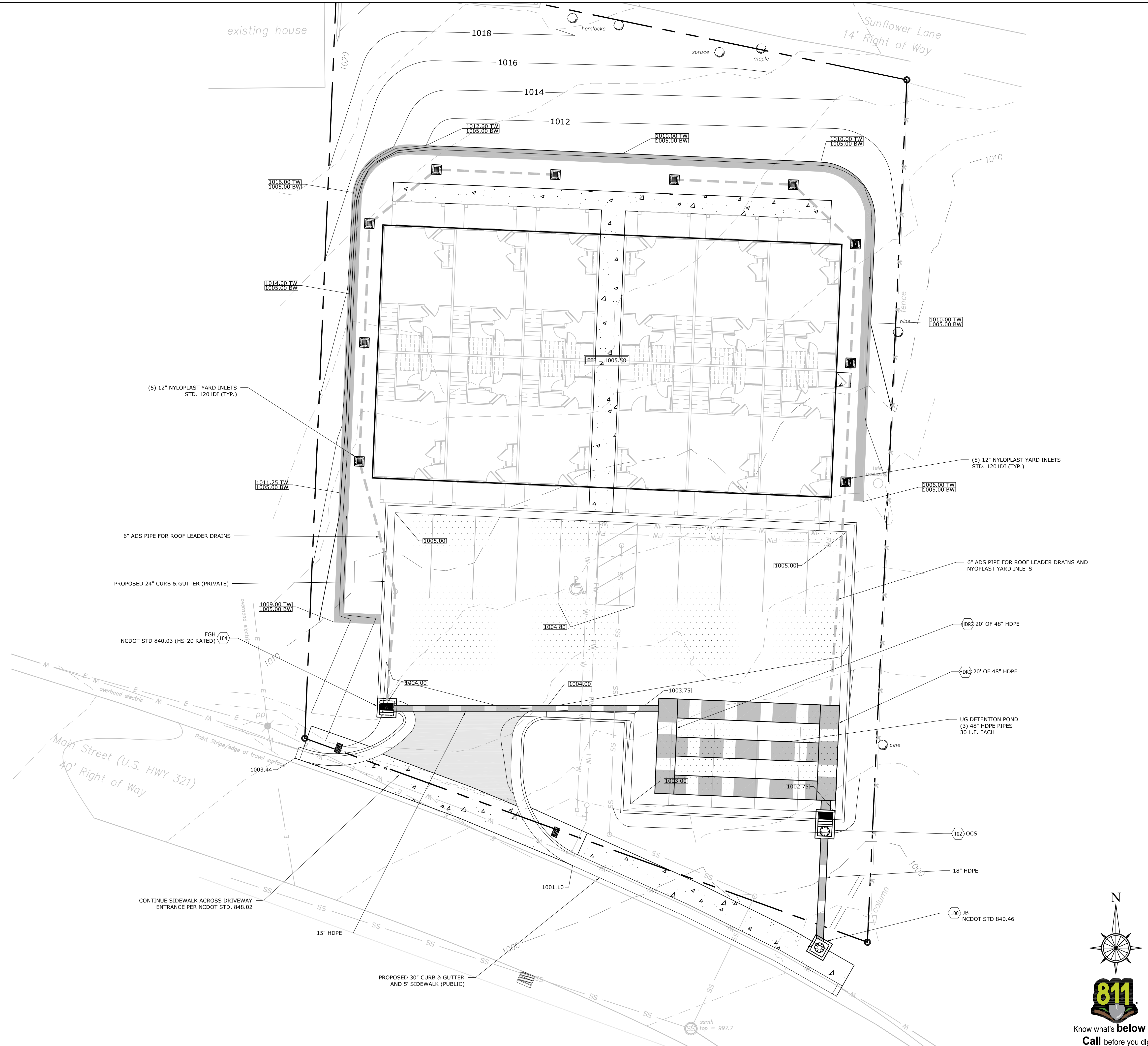
REQ'D CUT =	+ 2950	CY
REQ'D FILL =	- 25	CY
ADDITIONAL REQ'D FILL FOR SHRINKAGE, ETC. =	- 5	CY
ADDITIONAL CUT FROM PAVEMENT BASE =	+ 25	CY
ADDITIONAL CUT FROM BLDG. FOUNDATION =	+ 25	CY
BALANCE:	+ 2970	CY

EARTHWORK NOTES:

- 1.) A SHRINKAGE OF 15% WAS TO ACCOUNT FOR REMOVAL OF TOPSOIL, COMPACTION, ETC.
- 2.) REQ'D CUT IS IN SITU CUT.
- 3.) ANY SOIL MATERIAL TO BE TRANSPORTED OFFSITE SHALL BE EXPORTED TO A SPOIL SITE APPROVED BY THE GOVERNING JURISDICTION.
- 4.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL QUANTITIES AND BID NUMBERS. THESE CALCULATIONS ARE PROVIDED FOR REFERENCE ONLY.

Table 6: Detention Pond Summary

Existing Impervious Area Prior to 9/15/93	9,462.00 sf
Proposed Impervious Area	12,035.00 sf
Net Impervious Area for Storage	2,573.00 sf
Proposed Vegetative Cover Area:	8,438.20 sf
Required Storage for Net Impervious Area (9,100 cf/acre):	537.5 cf
Required Storage for Vegetative Cover Area (3,600 cf/acre):	697.4 cf
Total Storage Required per 16-16.31.3.2	1,234.9 cf
Total Storage Provided:	1,533.0 cf



PROJECT:
Blue Ridge Hotel
A Commercial Development

ADDRESS:
 830 Main Street
 Blowing Rock, NC

DEVELOPER:

RESIDENTIAL & COMMERCIAL PROPERTY MANAGEMENT

215 Boone Heights Drive, Ste. 100
 Boone, NC 28607
 828-262-3431

CONTACT: MR. JOHN WINKLER

ENGINEER:

215 Boone Heights Drive, Ste. 107
 Boone, NC 28607
 828-262-9807
 www.valorengineering.com

SEAL:

NOT FOR CONSTRUCTION

REVISIONS	DATE

PROJECT MANAGER: JEG
DRAWING BY: JEG
JURISDICTION: TOWN BLOWING ROCK
DATE: 09/30/19
SHEET TITLE:

PRELIMINARY GRADING & DRAINAGE PLAN

SHEET NUMBER: C-2

SCALE: 1" = 10'

FILE NUMBER: 001-047



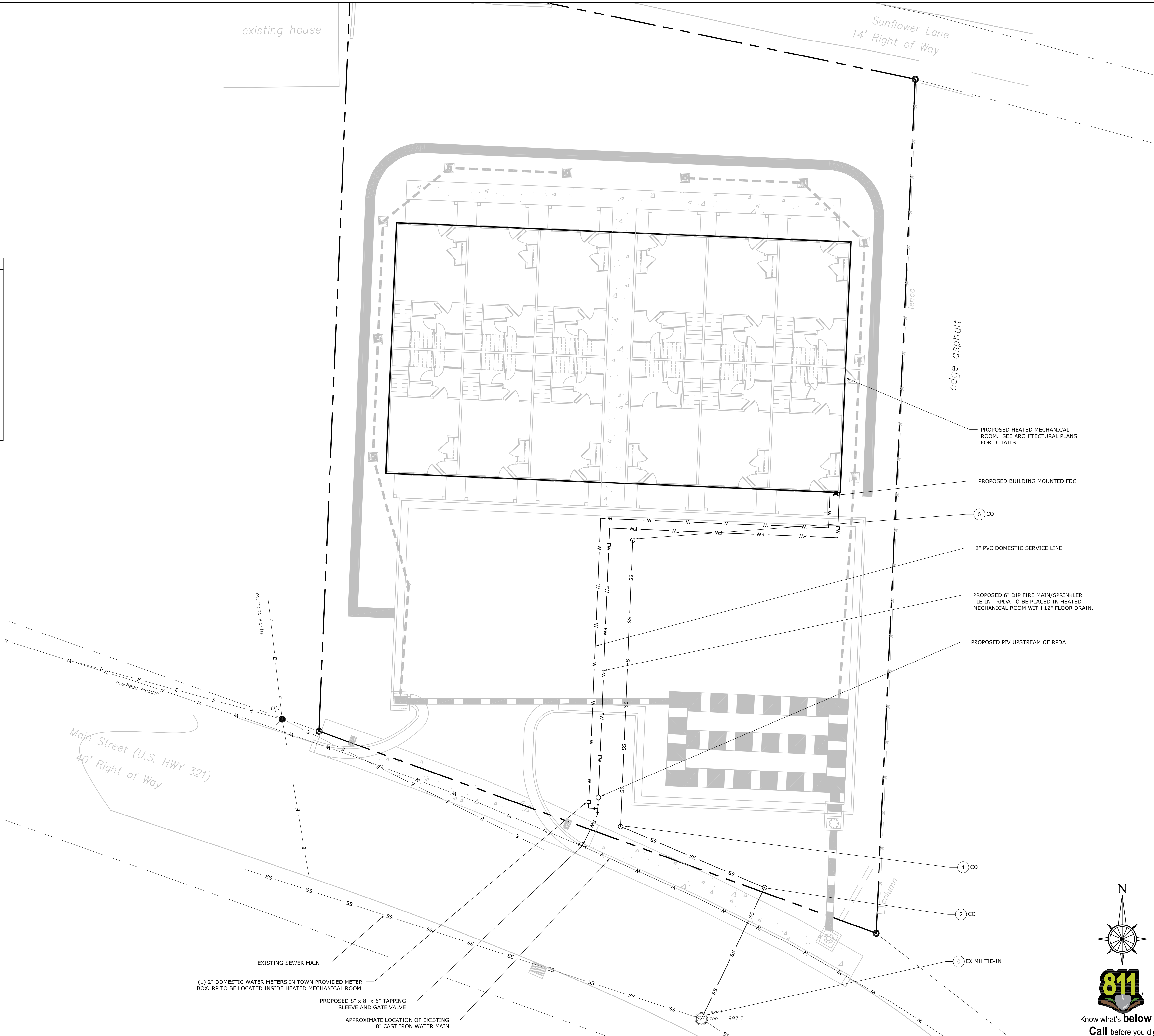
GENERAL NOTES:

- 1.) NEW RIVER LIGHT AND POWER COMPANY WILL PROVIDE UNDERGROUND ELECTRICAL SERVICE TO THE TRANSFORMER PAD. CONTRACTOR MUST PROVIDE ELECTRICAL SERVICE FROM THE TRANSFORMER TO EACH BUILDING. CONTRACTOR TO COORDINATE WITH NEW RIVER LIGHT AND POWER COMPANY FOR FINAL COORDINATION OF UNDERGROUND CONDUITS ON SITE.
- 2.) COORDINATE AS REQUIRED WITH TOWN OF BLOWING ROCK INSPECTIONS DURING CONSTRUCTION FOR REQUIRED INSPECTIONS.
- 3.) THIS SITE INDICATES POTABLE WATER SERVICE AND SANITARY SEWER LATERALS. NORTH CAROLINA STATE LAW REQUIRES THIS WORK TO BE INSTALLED BY A NORTH CAROLINA LICENSED PLUMBER. ALL WORK MUST BE INSPECTED TOWN OF BLOWING ROCK CODES AND INSPECTION DEPARTMENT.
- 4.) ALL ON-SITE PVC PIPE SHALL BE PRESSURE CLASS SDR-26 WITH CLASS B BEDDING. PVC MUST BE MANDREL, CCTV, AND PRESSURE TESTED BY THE UTILITY CONTRACTOR AND WITNESSED/INSPECTED BY THE TOWN OF BLOWING ROCK.
- 5.) ALL CONDUIT, PIPE, AND CHASE PIPE SHALL BE WRAPPED WITH THE APPROPRIATE LOCATION WIRE AND TAPE.
- 6.) NOTIFY WATER AND SEWER INSPECTOR PRIOR TO START OF CONSTRUCTION.
- 7.) ALL ELECTRIC POWER LINES, GAS DISTRIBUTION, TELEPHONE AND CABLE TELEVISION LINES SHALL BE PLACED UNDERGROUND.
- 8.) UPON COMPLETION OF ALL WORK PERFORMED WITHIN THE PUBLIC R/W, THE DISTURBED AREA SHALL BE REPLACED IN KIND WITH EQUAL OR BETTER MATERIALS.

FIRE MARSHAL NOTES:

- 1.) ALL FIRE HYDRANTS SHALL BE FITTED WITH HYDRANT MARKERS FOR INCLEMENT WEATHER LOCATION (3/8" x 60" BARCO PRODUCTS OR EQUIVALENT).
- 2.) ALL STREET NUMBERS SHALL BE 8" MIN HEIGHT AND A COLOR CONTRASTING THE BUILDING FINISH.

LEGEND	
---	PROPERTY LINE
OHE	EXISTING O/H ELECTRIC LINE
UG/E	EXISTING U/G ELECTRIC LINE
FM	EXISTING FORCE MAIN
GAS	EXISTING U/G GAS LINE
SS	EXISTING SANITARY SEWER LINE
W	EXISTING WATER LINE
---	EXISTING STORM LINE
GAS	PROPOSED GAS LINE
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
UG/E	PROPOSED U/G ELECTRIC LINE
---	PROPOSED U/G ELECTRIC SERVICE
---	PROPOSED STORM PIPE
T	PROPOSED TRANSFORMER
A/C	PROPOSED A/C UNIT



PROJECT:
Blue Ridge Hotel
A Commercial Development

ADDRESS:
 830 Main Street
 Blowing Rock, NC

DEVELOPER:

 Winkler organization
 RESIDENTIAL & COMMERCIAL PROPERTY MANAGEMENT


215 Boone Heights Drive, Ste. 100
 Boone, NC 28607
 828-262-3431

CONTACT: MR. JOHN WINKLER

ENGINEER:

VALOR ENGINEERING

215 Boone Heights Drive, Ste. 107
 Boone, NC 28607
 828-262-9807
 www.valorengineering.com

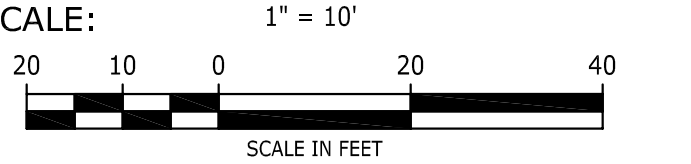
SEAL:

 NOT FOR CONSTRUCTION

REVISIONS	DATE

PROJECT MANAGER: JEG
 DRAWING BY: JEG
 JURISDICTION: TOWN BLOWING ROCK
 DATE: 09/30/19
 SHEET TITLE:

PRELIMINARY UTILITY PLAN

SHEET NUMBER: C-3

SCALE: 1" = 10'

 SCALE IN FEET

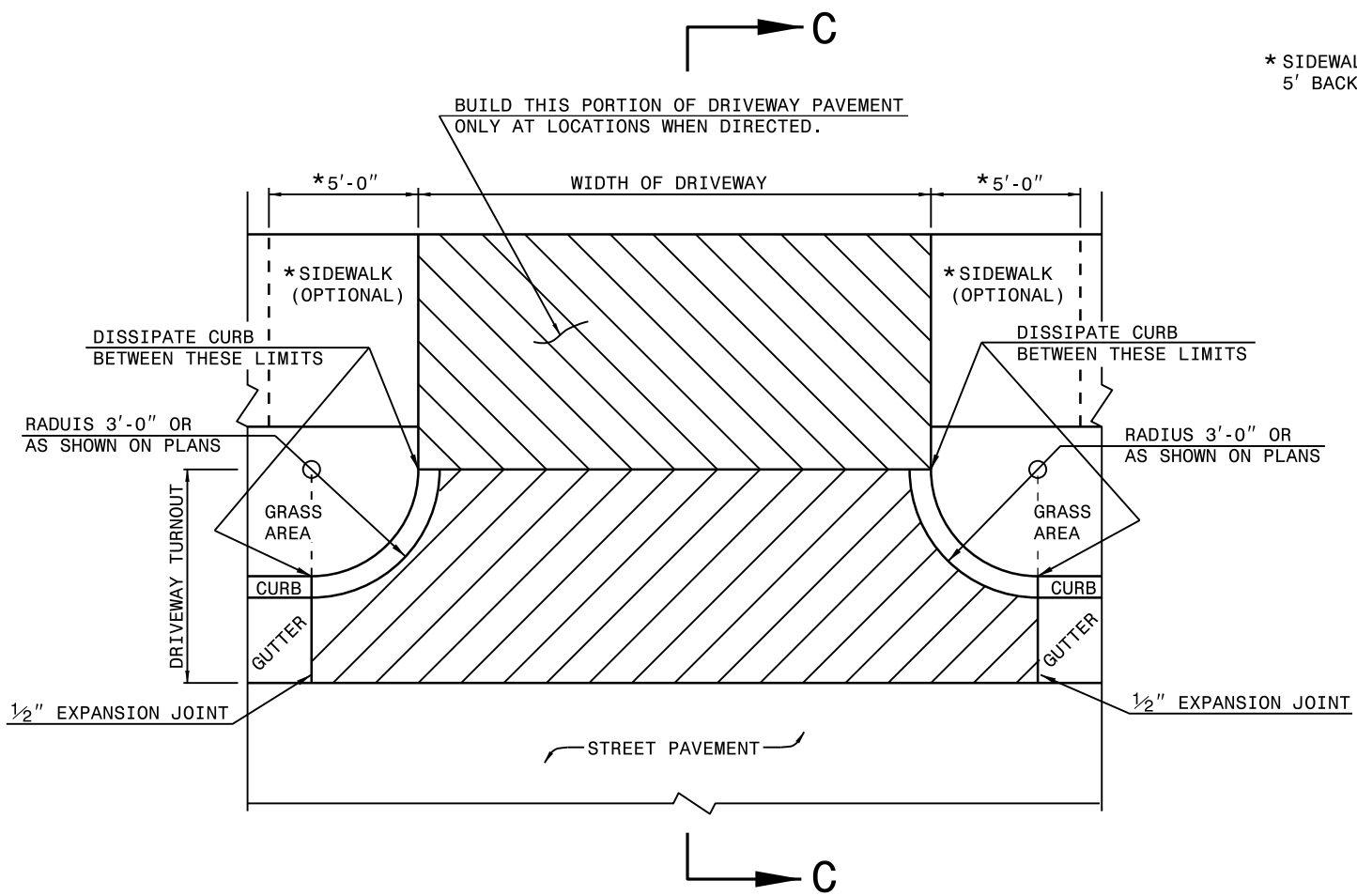
FILE NUMBER: 001-047



(1) 2" DOMESTIC WATER METERS IN TOWN PROVIDED METER BOX. RP TO BE LOCATED INSIDE HEATED MECHANICAL ROOM.
 PROPOSED 8" x 8" x 6" TAPPING SLEEVE AND GATE VALVE
 APPROXIMATE LOCATION OF EXISTING 8" CAST IRON WATER MAIN

1-18

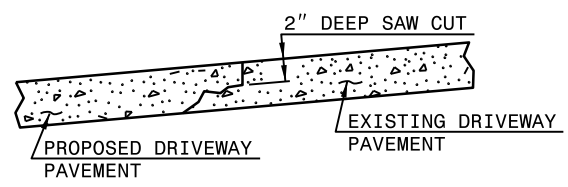
ROADWAY STANDARD DRAWING FOR
DRIVEWAY TURNOUT
RADIUS TYPE



* SIDEWALK TAPERS DOWN
5' BACK FROM DRIVEWAY.

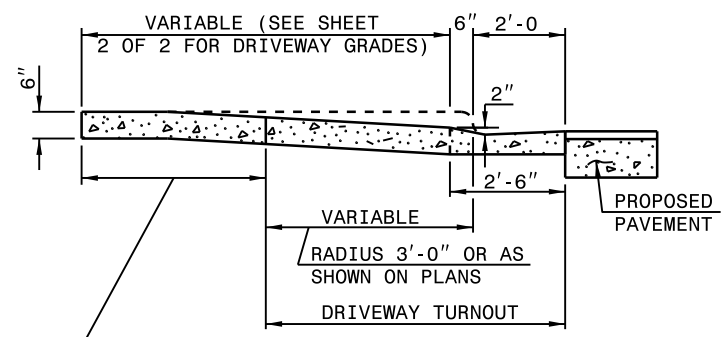
BUILD THIS PORTION OF DRIVEWAY PAVEMENT
ONLY AT LOCATIONS WHEN DIRECTED.

**PLAN
DETAIL OF DRIVEWAY**



METHOD OF TIE IN

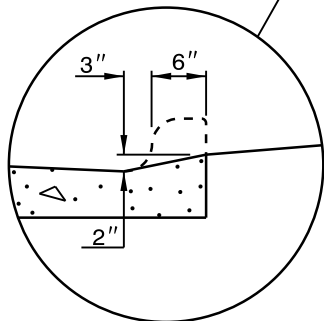
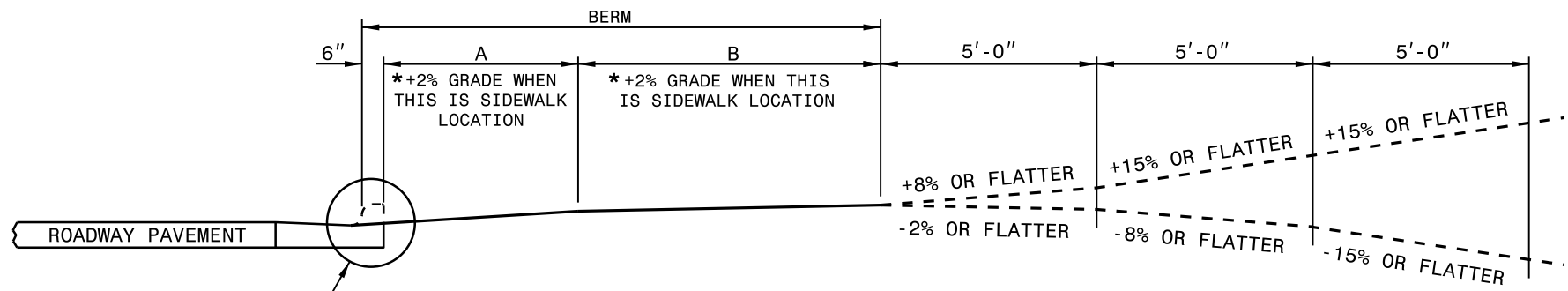
WHEN EXISTING DRIVEWAY PAVEMENT IS CONCRETE,
SAW CUT 2" DEEP JOINT AT THE POINT OF TIE-IN.
SAW JOINT PERPENDICULAR TO EDGE OF EXISTING
DRIVEWAY PAVEMENT.



BUILD THIS PORTION OF DRIVEWAY
PAVEMENT ONLY AT LOCATIONS
WHEN DIRECTED.

SECTION C-C

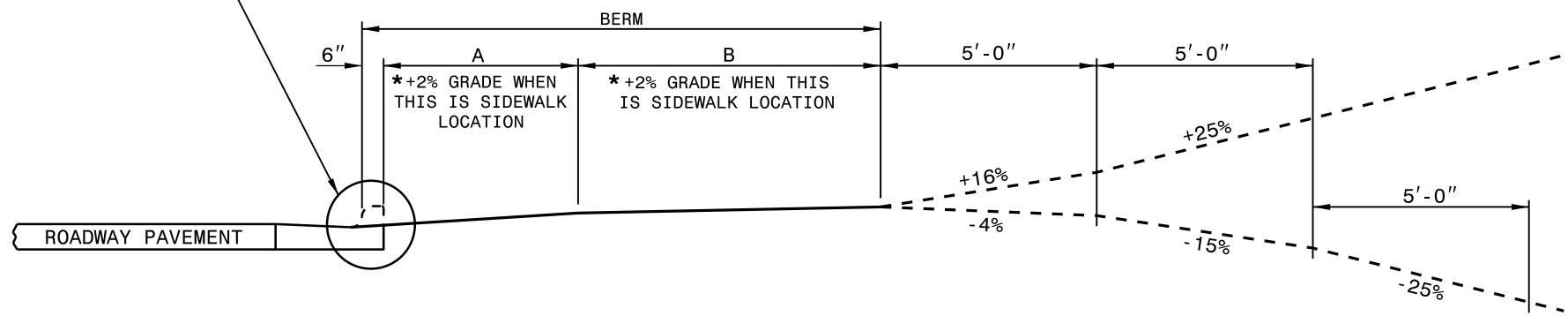
DESIRABLE DRIVEWAY GRADES

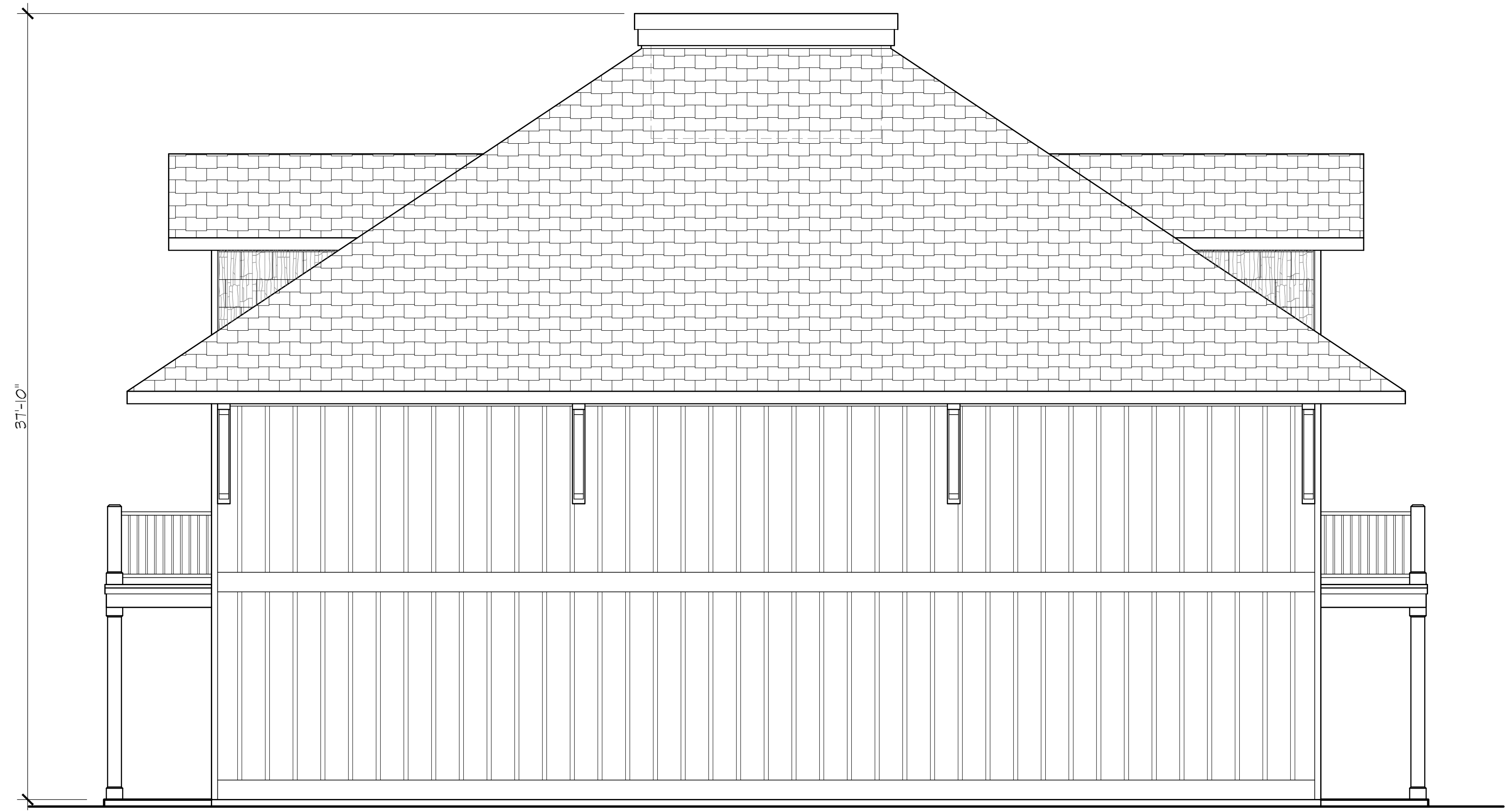


*SIDEWALK LOCATION
(DO NOT PLACE SIDEWALK ON
BERMS LESS THAN 6' WIDE.)

DESIRABLE OR MAXIMUM DRIVEWAY GRADES				
BERM WIDTH	A		B	
	DIST.	GRADE	DIST.	GRADE
8' OR LESS	5'-0"	+2%*	2'-6"	+5%
8' OR LESS	2'-0"	+6%	5'-6"	+2%*
10'	4'-0"	+4%	5'-6"	+2%*
12' & OVER	4'-6"	+4%	7'-0"	+2%*

MAXIMUM DRIVEWAY GRADES

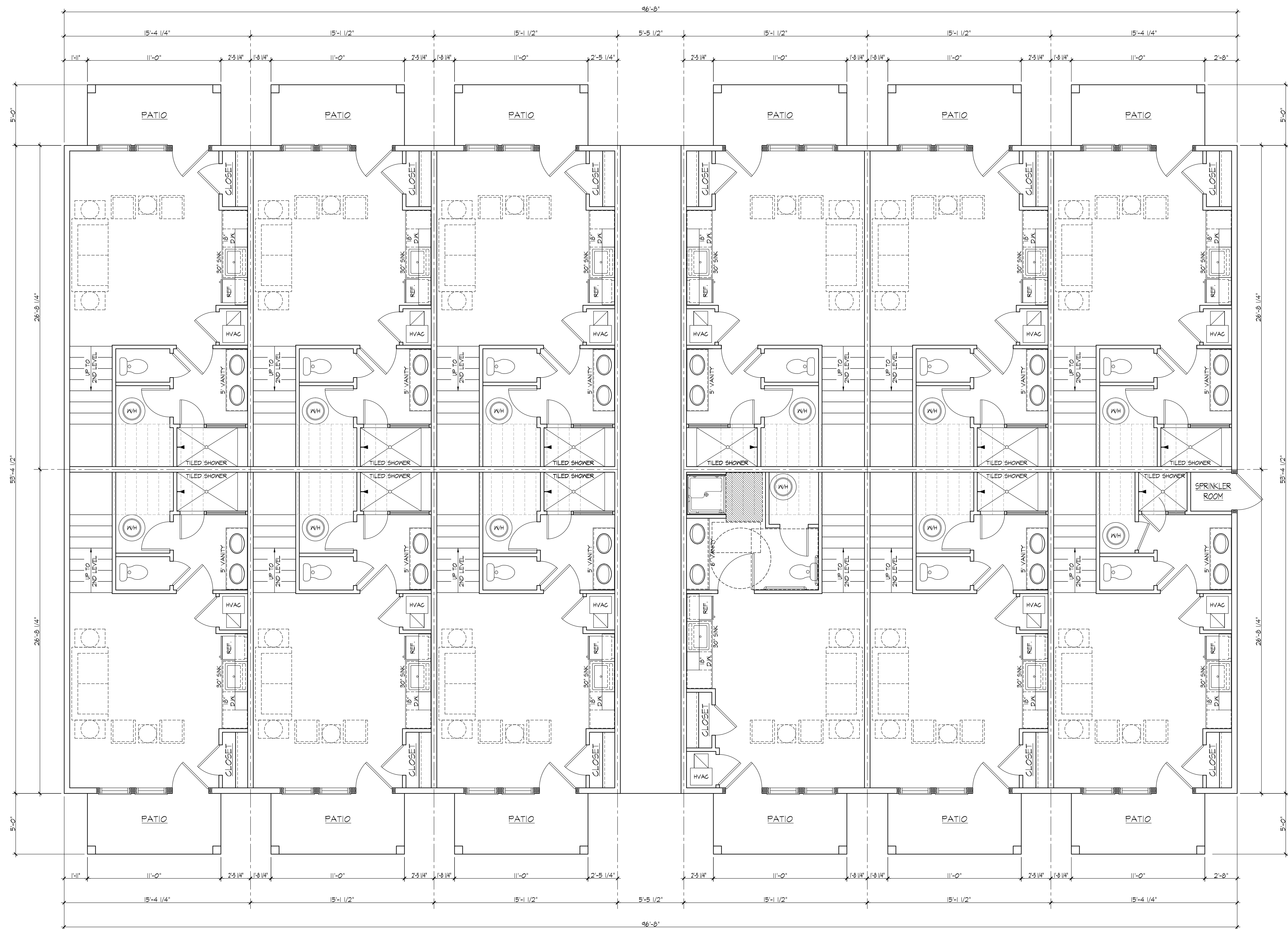




LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

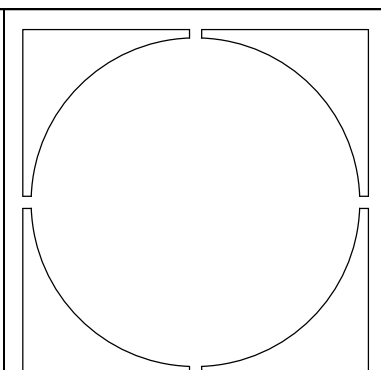


FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



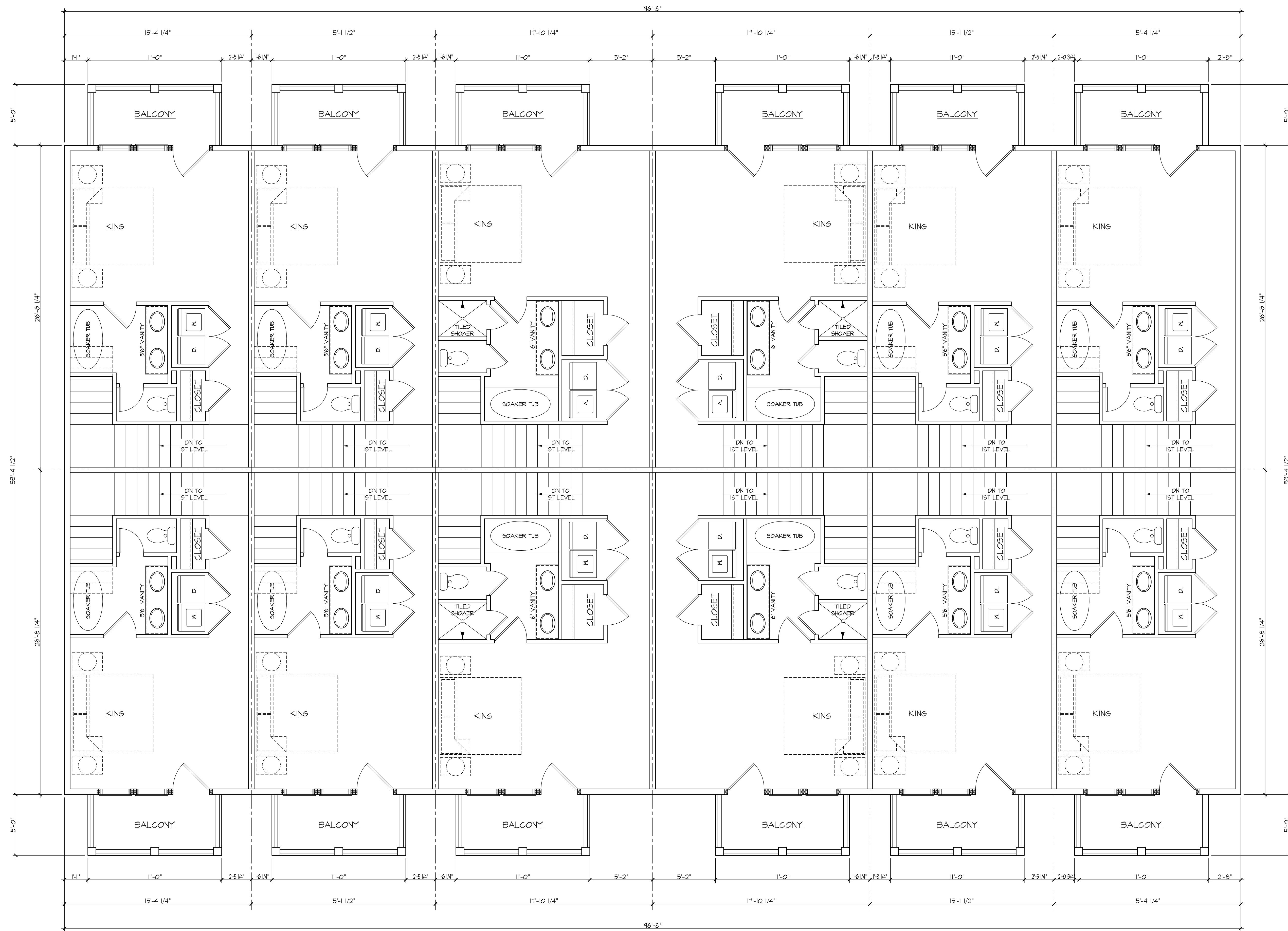
DEVELOPER:

BLUE RIDGE HOTEL
BLOWING ROCK
NORTH CAROLINA

DATE	JOB NO.
9/24/19	CONCEPTUAL DESIGN
10/2/19	CONCEPTUAL DESIGN

BRENT DAVIS ARCHITECTURE, INC.
BOONE, NORTH CAROLINA

SHEET
A1.0



UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

DEVELOPER:

BLUE RIDGE HOTEL
BLOWING ROCK
NORTH CAROLINA

JOB NO.:
CONCEPTUAL DESIGN
DATE: 9/24/19
10/2/19
CONCEPTUAL DESIGN

BRENT DAVIS ARCHITECTURE, INC.
BOONE, NORTH CAROLINA

SHEET
A11



EM





